

## AGENDA FOR THE PLAN COMMISSION

Members noticed must notify the person who prepared agenda (see below) at least 24 hours before the meeting as to whether they will not be able to attend this meeting.

**Date and Time:** Tuesday, January 21, 2020 – **5:15 PM**  
**Location:** Council Chambers, Municipal Building, 101 South Blvd., Baraboo, Wisconsin  
**Plan Comm. Notices:** Mayor Palm, P. Wedekind, D. Thurow, R. Franzen, P. Liston, J. O'Neill, T. Kolb, D. Marshall  
**Others Noticed:** T. Pinion, K. Downing, E. Truman, Robert Vajgrt, Lori Mueller, Library, and Media.

### **PETITIONERS OR REPRESENTATIVES MUST BE PRESENT OR SUBJECT WILL NOT BE HEARD BY THE COMMISSION!**

#### **1. Call to Order**

- a. Note compliance with the Open Meeting Law.
- b. Roll Call
- c. Approve agenda.
- d. Approve December 17, 2019 meeting minutes.

#### **2. Public Invited to Speak** (Any citizen has the right to speak on any item of business that is on the agenda for Commission action if recognized by the presiding officer.)

#### **3. Public Hearing**

- a. The request of the Baraboo School District for a Conditional Use Permit to expand the existing Jack Young Middle School building in an R-1 Single-Family Residential zoning district on Lot 1 of CSM #4227, located at 1531 Draper Street, City of Baraboo, Sauk County, Wisconsin.

#### **4. New Business**

- a. Consider the Baraboo School District's request for a Conditional Use Permit to expand the existing Jack Young Middle School building in an R-1 Single-Family Residential zoning district on Lot 1 of CSM #4227, located at 1531 Draper Street, City of Baraboo, Sauk County, Wisconsin.
- b. Review and approve a site plan for renovations to the Jack Young Middle School, at 1531 Draper Street, for the Baraboo School District.

#### **5. Adjournment**

Phil Wedekind, Mayor Designee  
Agenda prepared by Kris Jackson, 355-2730, Ext. 7309  
Agenda Posted by Kris Jackson on January 14, 2020

**PLEASE TAKE NOTICE**, that any person who has a qualifying as defined by the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible location or format, should contact the Municipal Clerk, 101 south Blvd., or phone 355-2700, during regular business hours at least 48 hours before the meeting so that reasonable arrangements can be made to accommodate each request.

It is possible that members of, and possibly a quorum of members of, other governmental bodies of the City of Baraboo who are not members of the above Council, committee, commission or board may be in attendance at the above stated meeting to gather information. However, no formal action will be taken by any governmental body at the above stated meeting, **other than the Council, committee, commission, or board identified in the caption of this notice.**

**FOR INFORMATION ONLY, NOT A NOTICE TO PUBLISH.**

## Minutes of Plan Commission Meeting December 17, 2019

**Call to Order** – Phil Wedekind called the meeting of the Commission to order at 6:00 PM.

**Roll Call** – Present were Phil Wedekind, Dennis Thurow, Roy Franzen, Pat Liston, Jim O'Neill, and Tom Kolb. Dee Marshall was absent.

Also in attendance were Tom Pinion, Josh & Karla Reinhardt.

### **Call to Order**

- a. Note compliance with the Open Meeting Law. Wedekind noted compliance with the Open Meeting Law.
- b. Agenda Approval: It was moved by Kolb, seconded by O'Neill to approve the agenda as posted. Motion carried unanimously.
- c. Minutes Approval: It was moved by O'Neill, seconded by Liston to approve the minutes of the October 15, 2019 meeting. Motion carried unanimously.

**Public Invited to Speak** (*Any citizen has the right to speak on any item of business that is on the agenda for Commission action if recognized by the presiding officer.*) – There were no speakers.

### **New Business**

- a. Request to Rezone the property at 1208 9<sup>th</sup> Street to repeal the Planned Development Overlay that was approved on October 8, 2019 to allow the existing office building on that site to be converted to a Family Day Care Center, by Karla and Josh Reinhardt, LC – Karla Reinhardt introduced herself to the Commission. Pinion presented background to the Commission. Franzen moved, Liston seconded to repeal the Planned Development Overlay at 1208 9<sup>th</sup> Street and rezone it back to its original B-3 Zoning. On roll call vote for the motion, Ayes – Thurow, Franzen, Liston, O'Neill, Kolb, and Wedekind. Nay – 0, motion carried 6-0.
- b. Review and approve the Island Court Condominium Instruments to convert the existing two-family residential dwelling (duplex) to a Two-Unit Condominium at 815/817 Island Court by Patricia Vandre – Patricia Vandre introduced herself to the Commission. Pinion presented the background for this request to the Commission. He said Vandre has an existing duplex and her end goal is to sell each one individually. Therefore, there is an opportunity to convert two family dwellings to side-by-side single-family attached dwellings. He said Dave Mitchell has done several duplexes and then converted them to side-by-side single family. He said that this is done by conditional use and there is a requisite condition that there be a minimum of 30-feet of front for each lot. Pinion said that the frontage of this lot is too narrow; it is less than 50-feet, so it does not come close to meeting the standard for two separate lots. Therefore, this does not qualify for side-by-side single-family conditional use, and The Board of Zoning Appeals cannot issue a variance for that standard. Pinion said that the only way to allow them to be sold independent unit is to do the reverse of what has been seen by condos being disbanded, she wants to turn the existing duplex into a 2-unit standalone condominium development. Pinion said that the City's ordinance does allow that, and it is regulated under subdivisions. Pinion said that this meets all codes. It was moved by Liston, seconded by Franzen pass the request to Council with a positive recommendation to convert the existing duplex to a Two-Unit Condominium as requested. On roll call vote for the motion, Ayes – Franzen, Liston, O'Neill, Kolb, Wedekind, and Thurow. Nay – 0, motion carried 6-0.

**Adjournment** - It was moved by Kolb, seconded by Franzen to adjourn at 6:09 p.m. The motion carried unanimously.

Phil Wedekind, Mayor Designee

## PLAN COMMISSION ITEM SUMMARY

January 21, 2020

**SUBJECT: CONSIDER THE BARABOO SCHOOL DISTRICT'S REQUEST FOR A CONDITIONAL USE PERMIT TO EXPAND THE EXISTING JACK YOUNG MIDDLE SCHOOL BUILDING IN AN R-1 SINGLE-FAMILY RESIDENTIAL ZONING DISTRICT ON LOT 1 OF CSM #4227, LOCATED AT 1531 DRAPER STREET, CITY OF BARABOO, SAUK COUNTY, WISCONSIN.**

**SUMMARY OF ITEMS A & B:** The Baraboo School District is planning to renovate the existing Jack Young Middle School building as part of their recently approved \$41.7 million referendum. This building, which was originally built in the mid 1970's, will undergo some interior renovations and include a substantial addition to the building. The Middle School is located in an R-1A Single-Family Residential Zoning District and schools are allowed as a Conditional Use; however, there is no record of a Conditional Use Permit so it is technically considered a non-conforming use and any expansion requires City approval; hence the reason for this request. Complete plans and colored renderings of the proposed improvements are included in the packet and representative from the Baraboo School District and their architectural consultant, Eppstein Uhen, will be at the meeting to address any questions or concerns.

### **COMPLIANCE/NONCOMPLIANCE:**

Pursuant to Section 17.37 – Conditional Use Review and Approval, I have found the application to be complete and have reviewed it for compliance with the ordinance.

**ACTION: Approve / Deny Conditional Use Permit (with certain conditions?)**

**ACTION: Approve / Conditionally Approve / Deny Site Plan**

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For Office Use:	Date		Date
Application given by _____	_____	Referred to Council	_____
Received by Bldg. Inspector _____	_____	Public Hearing Set	_____
Fee received by Treasurer _____	_____	Date Notices Mailed	_____
Building Insp. Certified _____	_____	Public Hearing Published	_____
Filed with City Clerk _____	_____	Public Hearing Held	_____
Referred for Staff Review _____	_____	Plan Meeting Action	_____

**City of Baraboo**  
 101 South Blvd.  
 Baraboo, WI 53913  
 (608) 355-2730 phone  
 608 355-2719 fax

## APPLICATION FOR CONDITIONAL USE PERMIT

(A non-refundable fee must accompany this application upon filing. -\$250 if public hearing required, or \$100 if no public hearing required.)

### FOR TREASURER USE ONLY

Receipt # \_\_\_\_\_

Account # 100-22-4440

12/20/2019

Date of Petition: \_\_\_\_\_

The undersigned, being all the owners of the real property covered by this conditional use request hereby petition the City of Baraboo Plan Commission as follows:

1. Name and address of each owner: (Please attach additional pages as necessary.)

Baraboo School District  
 423 Linn Street  
 Baraboo, WI 53913

2. Name and address of applicant if not an owner. Describe interest in site (if tenancy, attach copy of current lease):

Same as above

3. Address of site: 1531 Draper Street Baraboo, WI 53913

4. Tax parcel number of site: 206-0133-00000

5. Accurate legal description of site (state lot, block and recorded subdivision or metes and bounds description) (Attach copy of owner's deed): LOT 1 of certified survey map #4227, located in the Northwest ¼ of the northwest ¼ of section 35, Township 12 North, Range 6 East, City of Baraboo, Sauk County, Wisconsin.

6. Present zoning classification: R1-A

7. Requested conditional use: Institutional – Middle School

8. Brief description of each structure presently existing on site:

Middle School

9. Brief description of present use of site and each structure on site:

Middle School for the education of students in grades 6 through 8.

10. Brief description of any proposed change in use of structures if request for conditional use is granted: (include change in number of employees on site)

There will be no change in the use of the existing structure if the request for conditional use is granted.

11. The following arrangements have been made for serving the site with municipal sewer and water:

The site is currently served with municipal sewer. The current service will be able to adequately serve the new addition. The current building is served by municipal water.

The water service is currently being analyzed to determine whether this service will be adequate to serve the addition and providing fire sprinklers throughout.

12. Name, address, and tax parcel number of the owners of each parcel immediately adjacent to the boundaries of the site and each parcel within 200 feet including street and alley right-of-way of each exterior boundary of the site (see section 17.37(3)(a) of City Code.)

Attached is a list of property owners that are located adjacent to the middle school parcel.

13. A scale map or survey map must be attached showing the following: (Note: This section is not required for home occupation requests; skip to 14.) (see section 17.37(2)(a) of City Code.)

- a. Location, boundaries, dimensions, uses, and size of the site and structures and its relationship to adjoining lands.
- b. The approximate location of existing structures on the site, easements, streets, alleys, off street parking, loading areas and driveways, highway access and access restrictions, existing street, side and rear yards, proposed surface drainage, grade elevations.

14. State in detail, the evidence indicating proof that the proposed conditional use shall conform to each of the standards for conditional uses set forth in section 17.37(2)(b) of the City Zoning Code.

The proposed conditional use is a continuation of the existing use of this property which is the Jack Young Middle School. The proposed conditional use will provide adequate utilities, drainage, landscaping, lighting and other necessary improvements to allow the property to be in harmony with its current neighboring properties and will not have an adverse impact on the neighboring properties.

WHEREFORE, the undersigned property owners hereby state that the foregoing information and all attachments to this Petition are true and correct to the best of our knowledge.

Notice to Property Owner: Conditional use permits, if granted, are subject to a 10 day appeal waiting time.

Dated this 05 day of December, 2019.

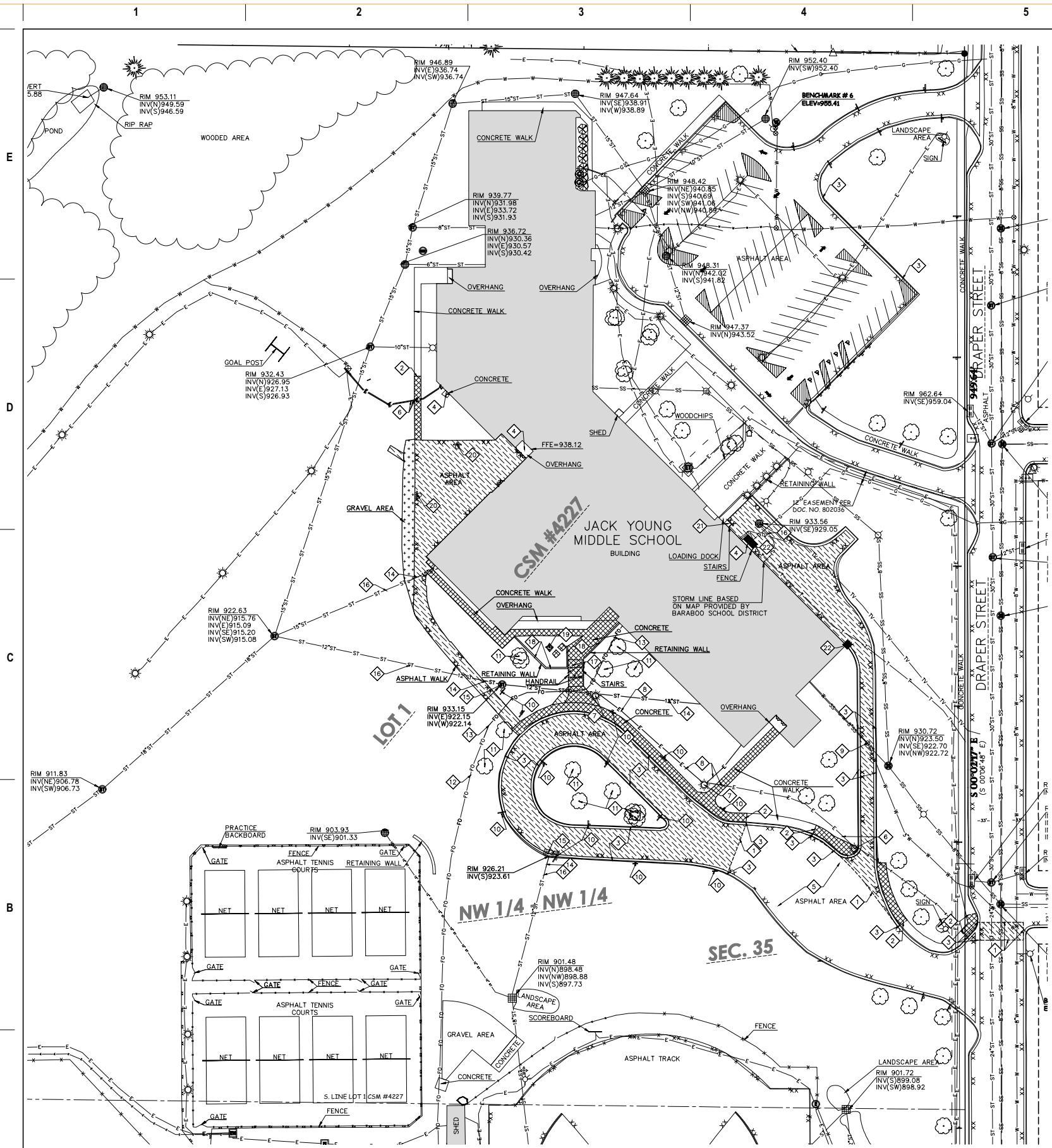
Joan M. Mueller  
Property owner

\_\_\_\_\_  
Property owner

I certify that that I have reviewed this application for completeness.

Date: \_\_\_\_\_ Zoning Administrator: \_\_\_\_\_





**BENCH MARK**  
ELEVATIONS ARE REFERENCED TO DATUM RECEIVED FROM THE CITY OF BARABOO ENGINEERING DEPARTMENT.  
BENCHMARK #6  
TOP NUT HYDRANT LOCATED ON THE NORTH SIDE OF JACK YOUNG MIDDLE SCHOOL PARKING LOT NEAR DRIVEWAY ENTRANCE TO THE PARKING AREA.  
ELEVATION = 955.41  
BENCHMARK #190  
TOP NUT HYDRANT LOCATED ON THE EAST SIDE OF DRAPER STREET AND BEING APPROXIMATELY 50 FEET SOUTH OF THE MOST NORTHERN WINNEBAGO CIRCLE INTERSECTION.  
ELEVATION = 929.28

**UTILITY DISCLOSURE:**  
The locations, sizes and types of underground public and private utilities or structures shown herein were obtained from aerial photographs, field measurements, and/or as-built plans. Utility owner and/or service provider information is provided for informational purposes only. It is recommended that additional utility lines not shown herein be located prior to construction. The locations shown herein are only approximate, with possibility that additional utility lines not shown herein, located during the search of records and the field survey may exist. Any contractor using the information shown herein is hereby forewarned that any excavation upon this site may result in the discovery of additional underground utilities not shown herein. In general, underground utility locations are shown from utility markings, by others, and/or as-built plans provided by others. POB makes no warranty of any kind, express or implied, with respect to the existing utilities shown herein, and believes that the information contained herein is reliable and generally accurate for the purposes intended.

**GENERAL NOTES:**

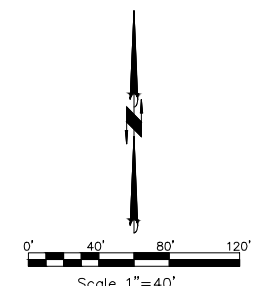
1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER EXCEPT FOR THOSE ITEMS NOTED TO BE SALVAGED, WHICH SHOULD BE TURNED OVER TO THE OWNER.
3. INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES FOR PERIMETER PROTECTION PRIOR TO THE START OF DEMOLITION/CONSTRUCTION, IN ACCORDANCE WITH THE LOCAL AND STATE GOVERNING AUTHORITIES.
4. ALL BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
5. COORDINATE WITH THE OWNER AND LOCAL UTILITY COMPANIES TO LOCATE ANY EXISTING UTILITIES ON SITE PRIOR TO THE START OF WORK.
6. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
7. STRIP TOPSOIL WITHIN THE PROJECT LIMITS IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS.
8. IF STRIPPED TOPSOIL IS STOCKPILED ON SITE, SILT FENCE SHALL BE INSTALLED AROUND THE BASE OF THE STOCKPILE TO PREVENT SEDIMENT TRANSPORT.
9. PRIOR TO PERFORMING WORK WITHIN PUBLIC RIGHT OF WAYS, NOTIFY AND COORDINATE WORK WITH THE LOCAL MUNICIPALITY.

**KEYNOTES:**

- |  |  |
|--|--|
| 1 SAWCUT BITUMINOUS PAVEMENT                                       | 12 MAINTAIN FIBER OPTIC                                      |
| 2 SAWCUT CONCRETE WALK   | 13 REMOVE/RELOCATE FIBER OPTIC- COORDINATE W/UTILITY COMPANY |
| 3 SAWCUT & REMOVE CONCRETE CURB                                    | 14 REMOVE STORM PIPE   |
| 4 MAINTAIN CONCRETE STOOP  | 15 REMOVE STORM MANHOLE                                      |
| 5 REMOVE PARKING LOT STRIPING                                      | 16 MAINTAIN STORM PIPE/MANHOLE                               |
| 6 MAINTAIN LIGHT POLE/ ELECTRICAL SERVICE                          | 17 REMOVE STAIRS/HANDRAIL                                    |
| 7 REMOVE LIGHT POLE- COORDINATE W/UTILITY COMPANY                  | 18 REMOVE RETAINING WALL                                     |
| 8 REMOVE/RELOCATE ELECTRICAL SERVICE- COORDINATE W/UTILITY COMPANY | 19 REMOVE/SALVAGE FLAG POLE                                  |
| 9 MAINTAIN WATER VALVE   | 20 REMOVE/SALVAGE BASKETBALL HOOPS                           |
| 10 REMOVE/SALVAGE SIGN   | 21 MAINTAIN STAIRS   |
| 11 CLEAR & GRUB TREE   | 22 MAINTAIN BOLLARDS   |

**DEMOLITION HATCH PATTERNS:**

- |                    |  |
|--------------------|--|
| BITUMINOUS REMOVAL |  |
| CONCRETE REMOVAL   |  |
| GRAVEL REMOVAL     |  |



**POB** Land Surveying  
Engineering  
Landscape Architecture  
4941 Kirschling Court  
Stevens Point, WI 54481  
715.344.9997(P)  
715.344.9922(F)  
Point of Beginning



**milwaukee** 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
414.271.5350  
**madison** 309 West Johnson Street, Suite 202  
Madison, Wisconsin 53703  
608.442.5350  
**des moines** 699 Walnut Street, Suite 400  
Des Moines, Iowa 50309  
515.724.5840  
**denver** 1899 Wynkoop Street, Suite 300  
Denver, Colorado 80202  
303.595.4500

**PROJECT INFORMATION**

**BARABOO SCHOOL DISTRICT - JACK YOUNG MIDDLE SCHOOL**

**1531 DRAPER ST  
BARABOO, WI 53913**

**ISSUANCE AND REVISIONS**

DATE	DESCRIPTION
11/20/2019	DESIGN DEVELOPMENT
01/14/2020	CITY SUBMITTAL

**KEY PLAN**

**SHEET INFORMATION**

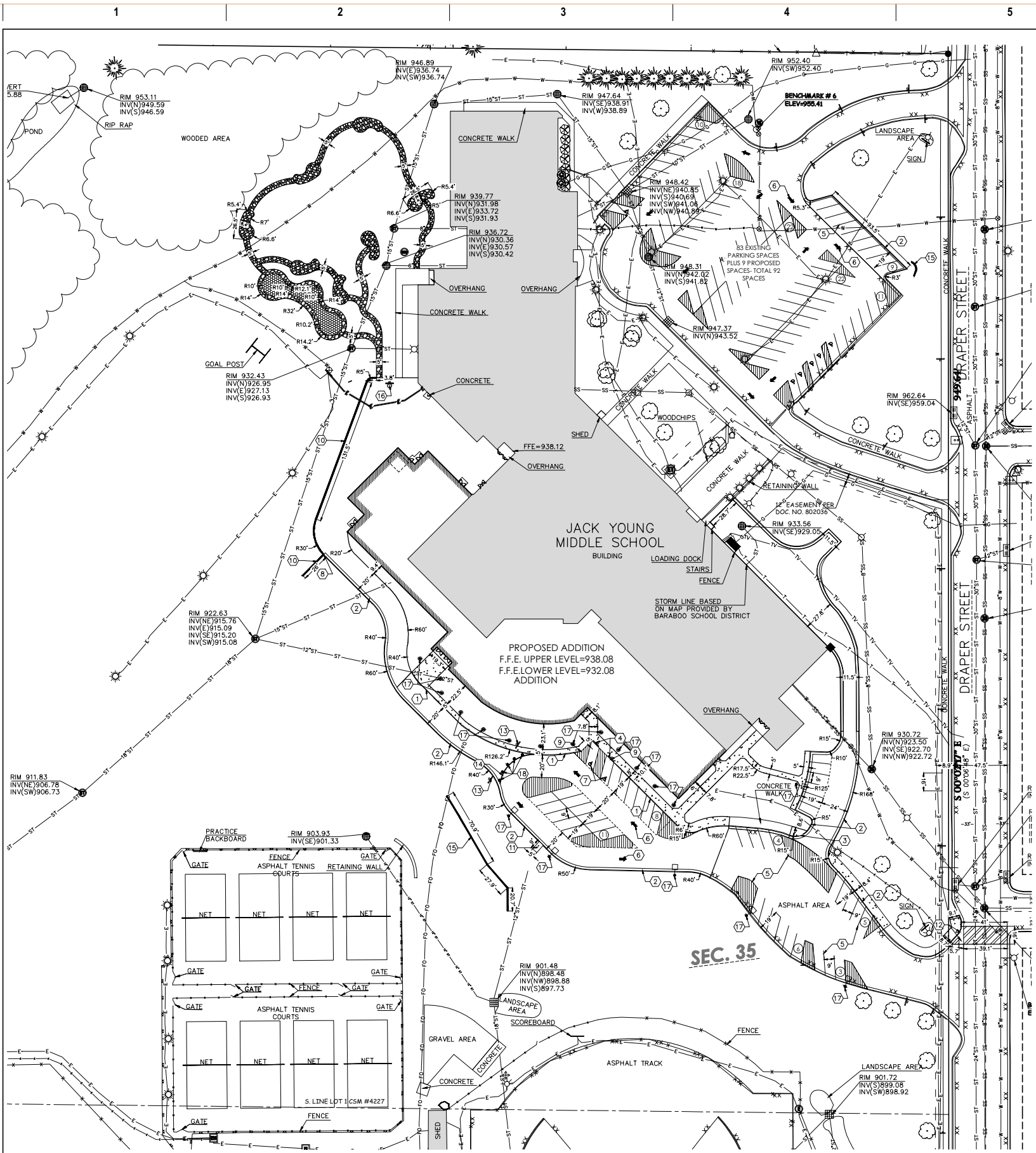
PROJECT MANAGER RV  
PROJECT NUMBER 317622

**DEMOLITION PLAN**

**C100**

© Eggleston Urban Architects, Inc.





**BENCH MARK**  
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BENCHMARK #6  
TOP NUT HYDRANT LOCATED ON THE NORTH SIDE OF JACK YOUNG MIDDLE SCHOOL PARKING LOT NEAR DRIVEWAY ENTRANCE TO THE PARKING AREA.  
ELEVATION = 925.41

BENCHMARK #390  
TOP NUT OF HYDRANT, LOCATED ON THE EAST SIDE OF DRAPER STREET AND BEING APPROXIMATELY 50 FEET SOUTH OF THE MOST NORTHERN WINNEBAGO CIRCLE INTERSECTION.  
ELEVATION = 929.28

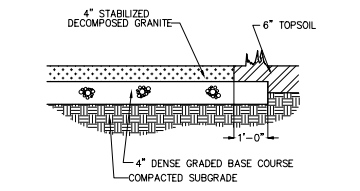
**UTILITY DISCLOSURE:**  
The locations, sizes and types of underground public and private utilities or structures shown herein were obtained from visual inspection, field measurements, and/or as-built plans, and/or estimated based on field observations. Prior to construction, the utility owner shall be contacted to verify the location, depth, and size of all utilities shown herein. The locations shown herein are only approximate, with the possibility that additional utilities may be discovered or modified during the search of records and the field survey may vary. The contractor using the information shown herein is hereby forewarned that any excavation upon this site may result in the discovery of additional underground utilities not shown herein. In general, underground utility locations are shown from utility markings, by others, and/or as-built plans, provided by others. POB makes no warranty of any kind, express or implied, with respect to the existing utilities shown herein, and believes that the information contained herein is reliable and generally accurate for the purposes intended.

- GENERAL NOTES:**
- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
  - GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
  - ALL REQUIRED EROSION CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
  - SEE SHEET C103 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
  - ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
  - VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
  - ALL BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
  - PRIOR TO THE START OF WORK VERIFY WITH THE LOCAL AUTHORITIES THAT ALL REQUIRED PERMITS HAVE BEEN ACQUIRED.
  - SIDEWALK JOINTS TO BE AS INDICATED OR AS APPROVED BY CONSTRUCTION MANAGER.
  - ALL SAWCUTS SHALL BE AT AN EXISTING JOINT IN THE CURB AND PAVEMENT.
  - ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED/FERTILIZED/CRIMP HAY MULCHED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

- KEYNOTES:**
- |   |                 |   |        |
|---|-----------------|---|--------|
| 1 THICKENED EDGE WALK                               | 3 C105          | 13 'DO NOT ENTER' SIGN                  | 4 C105 |
| 2 24" CONCRETE CURB & GUTTER                        | 4 C105          | 14 DRIVE OVER CURB                      | 4 C105 |
| 3 ADA RAMP  | 5 C105          | 15 MODULAR BLOCK RETAINING WALL         | 9 C105 |
| 4 ADA PARKING SIGN                                  | 6 C105          | 16 REINSTALL SALVAGED BASKETBALL HOOP   |        |
| 5 PARKING LOT STRIPING                              | 7 C105          | 17 SITE LIGHTING - SEE ELECTRICAL PLANS |        |
| 6 DIRECTIONAL ARROWS                                | 8 C105          | 18 REMOVABLE BOLLARDS                   |        |
| 7 ADA PARKING STALL                                 | 7 C105          |   |        |
| 8 END OF 24" CURB & GUTTER                          |                 |   |        |
| 9 END OF THICKENED EDGE WALK                        |                 |   |        |
| 10 MODULAR BLOCK RETAINING WALL W/RAILING           | 9 C105, 20 C105 |   |        |
| 11 CONCRETE FLUME                                   | 10 C105         |   |        |
| 12 REPLACE CONCRETE CURB & GUTTER TO MATCH EXISTING |                 |   |        |

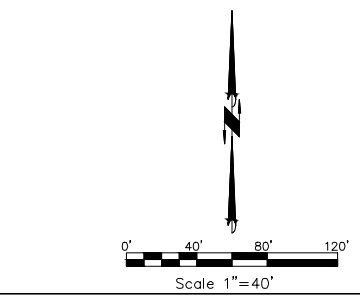
**PAVEMENT HATCH PATTERNS:**

- |   |        |
|---|--------|
| PROPOSED 3.5" ASPHALTIC CONCRETE PAVEMENT W/10" BASE COURSE   | 1 C105 |
| PROPOSED 4" ASPHALTIC CONCRETE PAVEMENT W/12" BASE COURSE   | 1 C105 |
| PROPOSED 4" CONCRETE PAVEMENT W/6" DENSE GRADED BASE COURSE   | 2 C105 |
| PROPOSED ASPHALTIC CONCRETE PAVEMENT W/BASE COURSE - COORDINATE W/CITY TO MATCH EXISTING PAVEMENT SECTION |        |
| PROPOSED 8" REINFORCED CONCRETE PAVEMENT W/6" DENSE GRADED BASE COURSE                                    | 1 C105 |
| 3" DEPTH STABILIZED DECOMPOSED GRANITE PATHWAY MIX (COLOR: RUSTIC GRANITE)                                | 1 C101 |
| 3" DEPTH STABILIZED DECOMPOSED GRANITE PATHWAY MIX (COLOR: AMERICAN HERITAGE GRANITE)                     | 1 C101 |



- NOTES:
- STABILIZED DECOMPOSED GRANITE MANUFACTURED BY KAFKA GRANITE OR APPROVED EQUAL. CONTRACTOR TO PROVIDE A SAMPLE OF THE BOTH AGGREGATE COLORS PRIOR TO INSTALLATION.
  - INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
  - SEE SPECIFICATIONS FOR FURTHER DETAILS.
  - SEE HATCH PATTERN LEGEND ON THIS SHEET FOR STABILIZED DECOMPOSED GRANITE COLORS AND LOCATIONS.

STABILIZED AGGREGATE 1 C101



Land Surveying  
Engineering  
Landscape Architecture

4941 Kirschling Court  
Stevens Point, WI 54481  
715.344.9977(P)  
715.344.9922(F)

Point of Beginning

milwaukee 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
414.271.5350

madison 309 West Johnson Street, Suite 202  
Madison, Wisconsin 53703  
608.442.5350

des moines 699 Walnut Street, Suite 400  
Des Moines, Iowa 50309  
515.724.5840

denver 1899 Wynkoop Street, Suite 300  
Denver, Colorado 80202  
303.595.4500

PROJECT INFORMATION

**BARABOO SCHOOL DISTRICT - JACK YOUNG MIDDLE SCHOOL**

**1531 DRAPER ST  
BARABOO, WI 53913**

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
11/20/2019	DESIGN DEVELOPMENT
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KEY PLAN

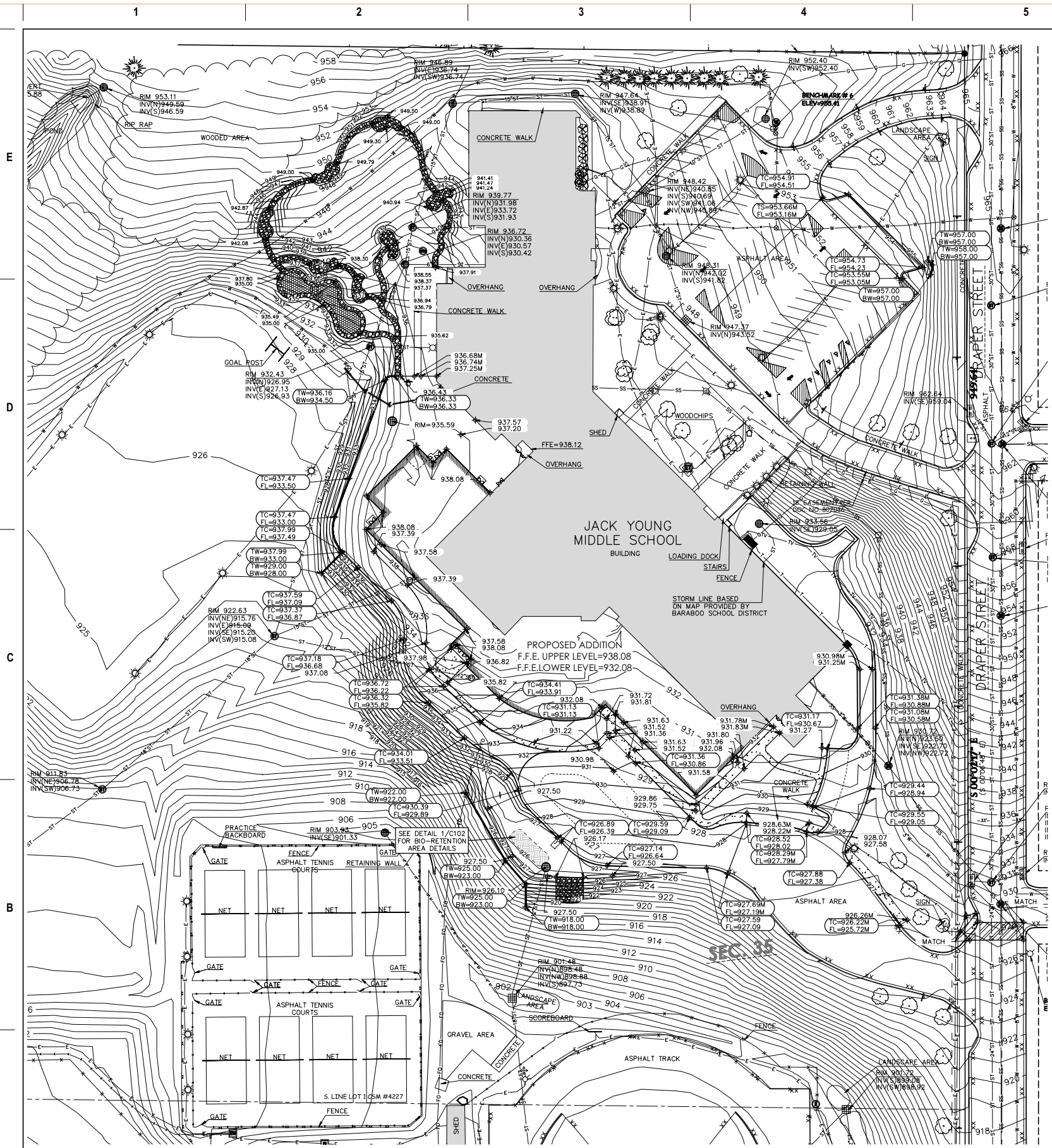
SHEET INFORMATION

PROJECT MANAGER RV  
PROJECT NUMBER 317622

LAYOUT PLAN

**C101**

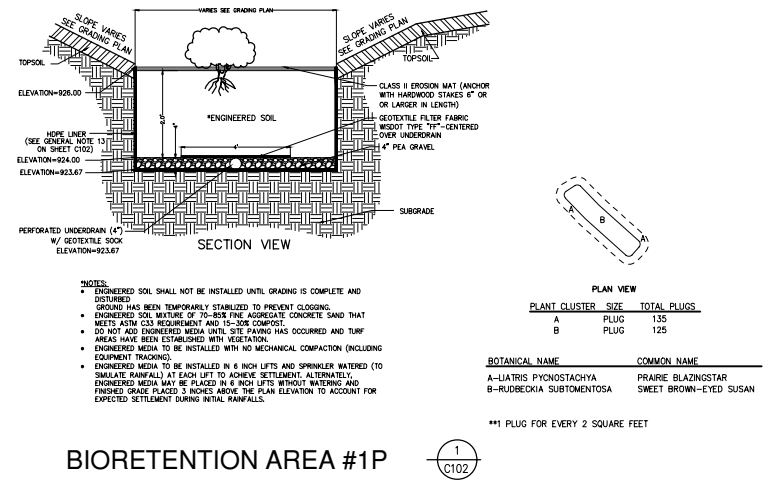




- GENERAL NOTES:**
- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
  - GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
  - INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES IN ACCORDANCE WITH LOCAL AUTHORITIES AND THE DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
  - 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LAWN AREAS AND 12" SHALL BE PROVIDED IN ALL PLANTING BED AREAS.
  - SEE SHEET C103 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
  - ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
  - COORDINATE ALL EARTHWORK ACTIVITIES WITH THE RESPECTIVE TRADES RESPONSIBLE FOR THE INSTALLATION OF GAS, CABLE, TELEPHONE AND ELECTRICAL (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE).
  - EXCESS TOPSOIL SHALL BE REMOVED FROM SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER. COORDINATE WITH OWNER FOR LOCATION OF STOCKPILE IF THE OWNER CHOOSES TO SALVAGE EXCESS TOPSOIL FOR FUTURE USE. SILT FENCE SHALL BE PLACED AROUND STOCKPILE.
  - THE ENGINEERED SOIL SHALL NOT BE PLACED IN THE BIORETENTION AREAS UNTIL THE SURROUNDING DRAINAGE AREA HAS BEEN FULLY STABILIZED. ALL CONSTRUCTION SITE SEDIMENT SHALL BE REMOVED FROM THE SUBGRADE OF THE BIORETENTION AREA PRIOR TO PLACEMENT OF THE ENGINEERED SOIL.
  - TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
  - THE LOCAL MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL HAVE HIS TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING. THE LOCAL MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES IF NEEDED.
  - GRADES AT BUILDING EDGE SHALL BE 6" BELOW FINISHED FLOOR ELEVATION EXCEPT AT DOOR WAY ENTRANCES OR UNLESS OTHERWISE NOTED.
  - A TYPE B HOPE LINER, IN APPENDIX D OF THE DNR TECHNICAL STANDARD 1001, SHALL BE INSTALLED WITH A MINIMUM THICKNESS OF 40 MIL, ACCORDING TO THE CRITERIA IN TABLE 3 OF THE NRCS 313, WASTE STORAGE FACILITY TECHNICAL STANDARD, AND ACCORDING TO NRCS WISCONSIN CONSTRUCTION SPECIFICATION 202, POLYETHYLENE GEOMEMBRANE LINING. THE CONTRACTOR MAY USE OTHER LINER METHODS, IF APPROVED BY THE CIVIL ENGINEER.

**GRADING LEGEND:**

EXISTING CONTOUR	712
PROPOSED CONTOUR	712
PROPOSED SPOT ELEVATION	930.00
PROPOSED TOP OF CURB ELEVATION	TC=930.00 FL=929.50
PROPOSED FLOW LINE ELEVATION	
PROPOSED TOP OF WALL ELEVATION	TW=930.00 BW=929.00
PROPOSED BOTTOM OF WALL ELEVATION	
PROPOSED MATCH ELEVATION (CONTRACTOR TO VERIFY)	930.00M
PROPOSED BIO-INFILTRATION BASIN	
MEDIUM RIP RAP W/TYPE HR FILTER FABRIC PLACED BENEATH	
PROPOSED STORM INLET	18 C105
PROPOSED STORM MANHOLE	18 C105



**BIORETENTION AREA #1P**

**BENCH MARK**

ELEVATIONS ARE REFERENCED TO DATUM RECEIVED FROM THE CITY OF BARABOO ENGINEERING DEPARTMENT.

BENCHMARK #6  
TOP NUT HYDRANT LOCATED ON THE NORTH SIDE OF JACK YOUNG MIDDLE SCHOOL PARKING LOT NEAR DRIVEWAY ENTRANCE TO THE PARKING AREA.  
ELEVATION = 955.41

BENCHMARK #390  
TOP NUT OF HYDRANT, LOCATED ON THE EAST SIDE OF DRAPER STREET AND BEING APPROXIMATELY 50 FEET SOUTH OF THE MOST NORTHERN WINNEBAGO CIRCLE INTERSECTION.  
ELEVATION = 929.28

**UTILITY DISCLOSURE:**

The locations, sizes and types of underground public and private utilities or structures shown herein were obtained from aerial photographs, field surveys, records, utility maps, and/or other sources. It is recommended that additional utility lines not shown herein be located during the course of the project. The information shown herein is for informational purposes only and does not constitute a warranty. The user of this information assumes all liability for any and all consequences resulting from the use of this information.

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Des Moines, Iowa 50309  
515.724.5840

denver 1899 Wynkoop Street, Suite 300  
Denver, Colorado 80202  
303.595.4500

PROJECT INFORMATION

**BARABOO SCHOOL DISTRICT - JACK YOUNG MIDDLE SCHOOL**

**1531 DRAPER ST  
BARABOO, WI 53913**

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
11/20/2019	DESIGN DEVELOPMENT
01/14/2020	CITY SUBMITTAL

KEY PLAN

**B**

SHEET INFORMATION

PROJECT MANAGER RV

PROJECT NUMBER 317622

**Grading Plan**

**C102**

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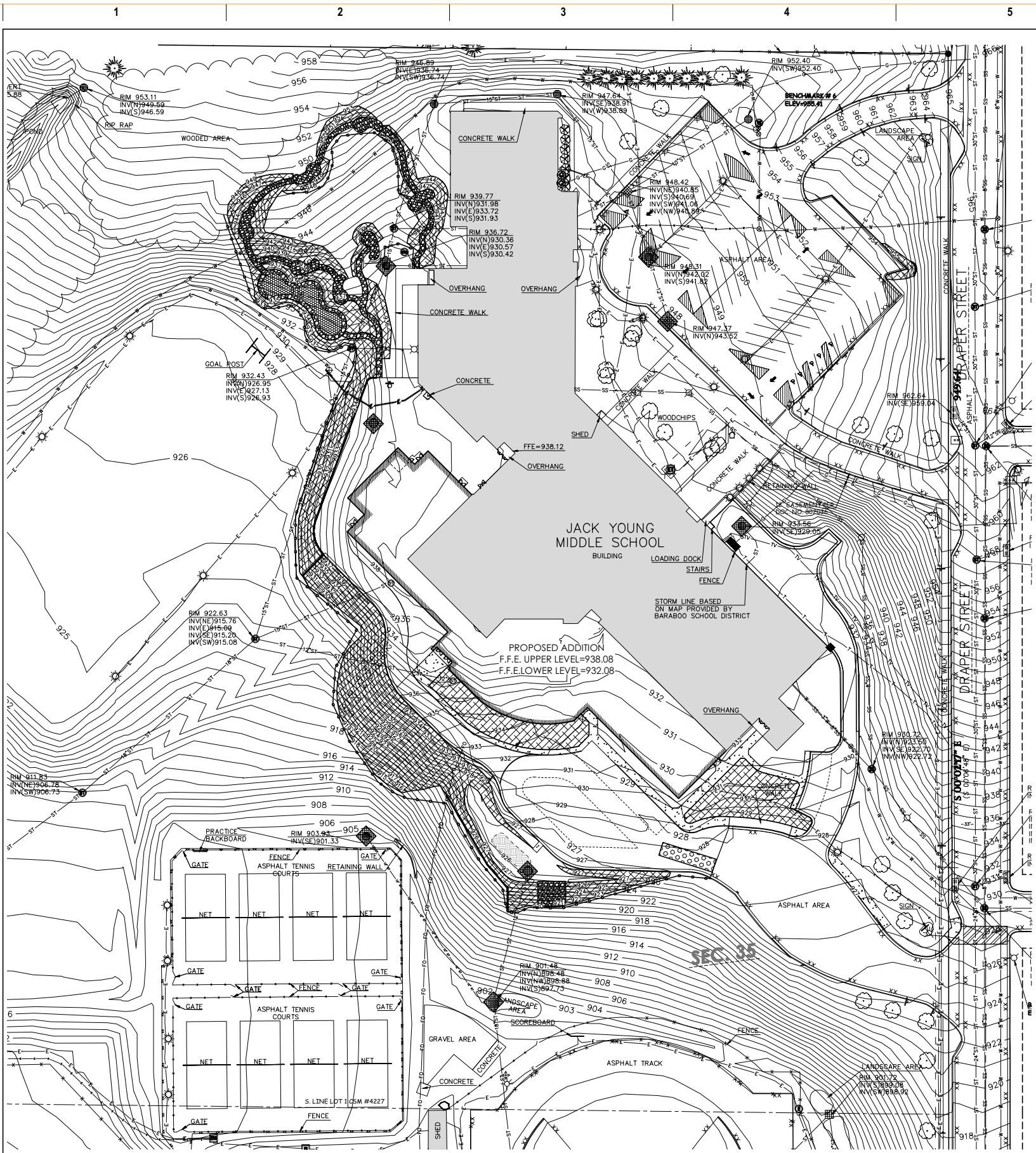
Land Surveying  
Engineering  
Landscape Architecture

4941 Kinschling Court  
Stevens Point, WI 54481  
715.344.9997(P)  
715.344.9922(Fx)

Point of Beginning

Scale 1"=40'





**BENCH MARK**  
ELEVATIONS ARE REFERENCED TO DATUM RECEIVED FROM THE CITY OF BARABOO ENGINEERING DEPARTMENT.

**BENCH-MARK #6**  
TOP NUT HYDRANT LOCATED ON THE NORTH SIDE OF JACK YOUNG MIDDLE SCHOOL PARKING LOT NEAR DRIVEWAY ENTRANCE TO THE PARKING AREA.  
ELEVATION = 955.41

**BENCH-MARK #190**  
TOP NUT OF HYDRANT, LOCATED ON THE EAST SIDE OF DRAPER STREET AND BEING APPROXIMATELY 50 FEET SOUTH OF THE MOST NORTHERN WINNEBAGO CIRCLE INTERSECTION.  
ELEVATION = 929.28

**UTILITY DISCLAIMER:**  
The locations, sizes and types of underground public and private utilities or structures shown herein were obtained from aerial photography, utility maps, and other sources. It is not intended that this information be used as a basis for any construction or other activity. The information shown herein is for informational purposes only and does not constitute a warranty of any kind, express or implied, with respect to the existing utilities shown herein, and therefore the information contained herein is reliable and generally accurate for the purposes intended.

**GENERAL NOTES:**

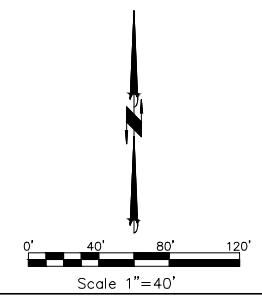
- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- NOTIFY THE LOCAL MUNICIPALITY AT LEAST 2 WORKING DAYS PRIOR TO THE START OF SOIL DISTURBING ACTIVITIES.
- INSTALL ALL TEMPORARY EROSION CONTROL ELEMENTS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE AS TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MAINTAIN EXISTING VEGETATION AS LONG AS POSSIBLE.
- CRUSHED ROCK DRIVES FOR SEDIMENT TRACKING UTILIZING 3" CRUSHED ROCK SHALL BE MAINTAINED AT ALL CONSTRUCTION ENTRANCES TO THE SITE. THE ROCK DRIVE SHALL BE A MINIMUM OF 12" THICK AND BE A MINIMUM OF 50 FEET IN LENGTH BY THE WIDTH OF THE DRIVEWAY.
- OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES, INCLUDING SOIL TRACKED BY CONSTRUCTION TRAFFIC, SHALL AT A MINIMUM BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED IMMEDIATELY. FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM ADJACENT STREETS BY THE USE OF MECHANICAL OR MANUAL SWEEPING OPERATIONS ONCE A WEEK AT A MINIMUM AND BEFORE IMMINENT RAIN EVENTS.
- DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION AREAS, INCLUDING SOIL STOCKPILES, THAT IS LEFT INACTIVE FOR MORE THAN 7 DAYS SHALL BE TEMPORARILY STABILIZED BY SEEDING/MULCHING OR OTHER APPROVED METHODS.
- WASTE MATERIAL THAT IS GENERATED ON THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO RUN INTO RECEIVING WATERS.
- EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF EACH WORK DAY.
- INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE A WEEK AND AFTER ANY RAINFALL OF 0.5" OR MORE. MAKE NEEDED REPAIRS AND DOCUMENT ALL ACTIVITIES AS PER THE REQUIREMENTS OF THE NOTICE OF INTENT SUBMITTED BY THE PROJECT CIVIL ENGINEER.
- ALL TEMPORARY EROSION CONTROL ELEMENTS SHALL REMAIN IN PLACE UNTIL A SUFFICIENT GROWTH OF VEGETATION IS ESTABLISHED AND THEN BE REMOVED AS PART OF THE BASE BID.
- IF SEDIMENT LADEN WATER NEEDS TO BE REMOVED FROM THE SITE, FILTER BAGS OR SCREENING SHALL BE USED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 TO PREVENT SEDIMENT DISCHARGE TO THE MAXIMUM EXTENT PRACTICABLE.
- IF BARE SOIL IS EXPOSED DURING THE WINTER MONTHS, STABILIZATION BY MULCHING OR ANIONIC POLYACRYLAMIDE SHALL OCCUR PRIOR TO SNOW OR FROZEN GROUND.
- SILT FENCE SHALL BE INSTALLED AROUND THE TOPSOIL STOCKPILE.
- SILT FENCE SHALL BE INSTALLED AROUND THE BIOTRETION AREA IMMEDIATELY FOLLOWING INSTALLATION OF THE ENGINEERED SOIL TO PROTECT IT FROM SILT CONTAMINATION.
- THE ENGINEERED SOIL SHALL NOT BE PLACED IN THE BIOTRETION AREAS UNTIL THE SURROUNDING DRAINAGE AREA HAS BEEN FULLY STABILIZED. ALL CONSTRUCTION SITE SEDIMENT SHALL BE REMOVED FROM THE SUBGRADE OF THE BIOTRETION AREA PRIOR TO PLACEMENT OF THE ENGINEERED SOIL.
- THE CONTRACTOR SHALL PERFORM INSPECTIONS AND MONITORING OF EROSION CONTROL PRACTICES IN ACCORDANCE WITH THE WI DNR "CONSTRUCTION SITE INSPECTION REPORT" FORM 3400-187. THIS FORM CAN BE FOUND IN THE CONSTRUCTION SPECIFICATIONS.

**EROSION CONTROL LEGEND:**

EXISTING CONTOUR	888
PROPOSED CONTOUR	888
PROPOSED SILT FENCE	11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100
PROPOSED INLET PROTECTION	
EROSION CONTROL BLANKET	
ROCK CONSTRUCTION ENTRANCE	
MEDIUM RIP RAP W/FILTER FABRIC BENEATH	

**EROSION CONTROL SEQUENCING**

- INSTALL PERIMETER EROSION CONTROL.
- EXCAVATE A TEMPORARY SEDIMENT TRAP AT THE PROPOSED BIO-RETENTION AREAS IN ACCORDANCE WITH DNR TECHNICAL STANDARD 1063.
  - SEDIMENT TRAP BOTTOM BASIN ELEVATION SHALL BE 924.00.
  - INSTALL STONE OUTLET/OVERFLOW WEIR.
  - EXCAVATE SWALES TO THE BASINS TO DIRECT AND MAXIMIZE STORMWATER RUNOFF TO THIS BASIN DURING CONSTRUCTION.
- BEGIN DEMOLITION.
- BEGIN ROUGH GRADING AND UTILITY INSTALLATION.
- DURING GRADING ACTIVITIES EXISTING GRASS AND VEGETATION, TO BE REMOVED, SHALL REMAIN IN PLACE FOR AS LONG AS POSSIBLE, TO AVOID SEDIMENT TRANSPORT.
- TEMPORARY STABILIZATION ACTIVITY SHALL COMMENCE WHEN LAND DISTURBING CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
- FINAL STABILIZATION ACTIVITY SHALL COMMENCE WHEN LAND DISTURBING ACTIVITIES CEASE AND FINAL GRADE HAS BEEN REACHED ON ANY PORTION OF THE SITE.
- PER GENERAL NOTE #16, THE SEDIMENT TRAP SHALL BE RECONSTRUCTED INTO THE PROPOSED BIO-RETENTION AREA AFTER THE SURROUNDING AREA HAS BEEN FULLY STABILIZED.
  - ANY CONSTRUCTION SITE SEDIMENT BUILD UP SHALL BE REMOVED FROM THE PROPOSED BIO-RETENTION BASIN BEFORE EXCAVATION TO THE FINAL DEPTH AND INSTALLATION OF THE ENGINEERED SOIL.
- IF DISTURBED AREAS MUST BE LEFT OVER WINTER, AN ANIONIC POLYACRYLAMIDE SHALL BE APPLIED TO ALL DISTURBED AREAS PRIOR TO GROUND FREEZE. SEE SPECIFICATIONS FOR DETAILS.



**POB** Land Surveying  
Engineering  
Landscape Architecture

4941 Kinschling Court  
Stevens Point, WI 54481  
715.344.9977(P)  
715.344.9922(Fx)



**milwaukee** 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
414.271.5350

**madison** 300 West Johnson Street, Suite 202  
Madison, Wisconsin 53703  
608.442.5350

**des moines** 699 Walnut Street, Suite 400  
Des Moines, Iowa 50309  
515.724.5840

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Denver, Colorado 80202  
303.595.4500

**PROJECT INFORMATION**

**BARABOO SCHOOL DISTRICT - JACK YOUNG MIDDLE SCHOOL**

**1531 DRAPER ST  
BARABOO, WI 53913**

**ISSUANCE AND REVISIONS**

DATE	DESCRIPTION
11/20/2019	DESIGN DEVELOPMENT
01/14/2020	CITY SUBMITTAL

**KEY PLAN**

**SHEET INFORMATION**

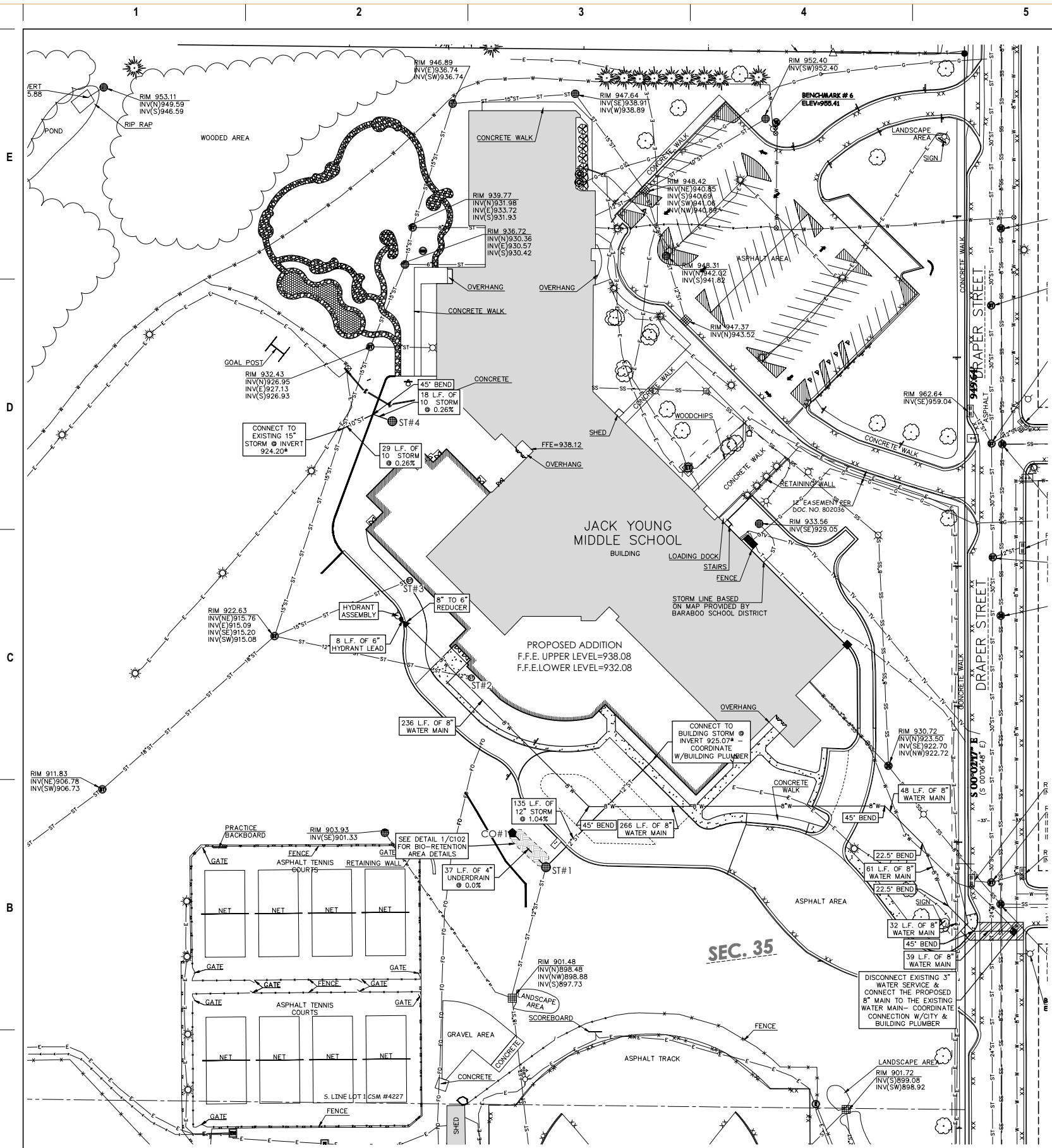
PROJECT MANAGER RV  
PROJECT NUMBER 317622

**EROSION CONTROL PLAN**

**C103**

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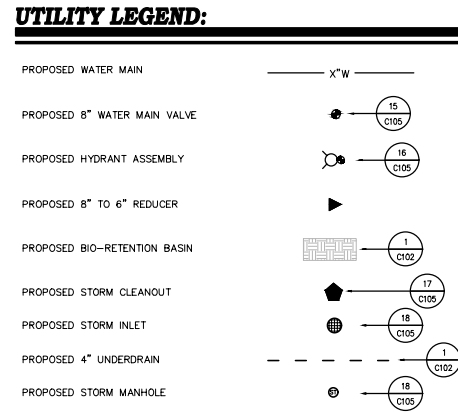
**BENCH MARK**  
ELEVATIONS ARE REFERENCED TO DATUM RECEIVED FROM THE CITY OF BARABOO ENGINEERING DEPARTMENT.

BENCHMARK #6  
TOP NUT HYDRANT LOCATED ON THE NORTH SIDE OF JACK YOUNG MIDDLE SCHOOL PARKING LOT NEAR DRIVEWAY ENTRANCE TO THE PARKING AREA.  
ELEVATION = 955.41

BENCHMARK #390  
TOP NUT HYDRANT LOCATED ON THE EAST SIDE OF DRAPER STREET AND BEING APPROXIMATELY 50 FEET SOUTH OF THE MOST NORTHERN WINNEBAGO CIRCLE INTERSECTION.  
ELEVATION = 929.28

**UTILITY DISCLAIMER:**  
The locations, sizes and types of underground public and private utilities or structures shown herein were obtained from aerial photography, field measurements, records or as-built plans. Utility owner and storm sewer pipe sizes, inverts, depths and locations between manholes are supplemented by as-built plans and/or estimated based on field observations. Prior to construction, the utility owner shall be notified of any utility shown herein. It is recommended that the locations, depths, and sizes be field verified. The locations shown herein are only approximate, with possibility that additional utility lines not discovered, or located, during the search of records and the field survey may exist. Any contractor using the information shown herein is hereby forewarned that any excavation upon this site may result in the discovery of additional underground utilities not shown herein. In general, underground utility locations are shown from utility meetings, by others, and/or as-built plans provided by others. POB makes no warranty of any kind, express or implied, with respect to the existing utilities shown herein, and believes that the information contained herein is reliable and generally accurate for the purpose intended.

- GENERAL NOTES:**
- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
  - GRADE, LINE, AND LEVEL SHALL BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
  - ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR.
  - COORDINATE ALL UTILITY WORK WITH THE RESPECTIVE TRADES RESPONSIBLE FOR THE INSTALLATION OF GAS, CABLE, TELEPHONE AND ELECTRICAL (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE).
  - COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY WITH THE LOCAL MUNICIPALITY.
  - TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
  - THE PROPOSED WATER MAIN SHALL HAVE A MINIMUM COVER OF 7'-6" FROM TOP OF PIPE TO PROPOSED FINISHED GRADES. SEE SHEET C102 FOR PROPOSED GRADES.
  - THE MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY AND PRIOR TO CONNECTING SANITARY SEWER AND WATER LATERALS TO THE PUBLIC MAINS. THE CONTRACTOR SHALL HAVE A TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING. THE MUNICIPALITY SHALL OPERATE EXISTING WATER VALVES, IF NEEDED.



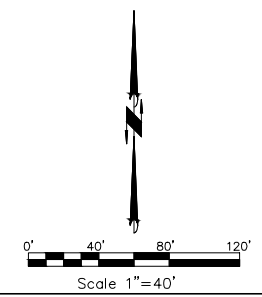
**STORM MANHOLE SCHEDULE:**

ST#1	ST#2	ST#3	ST#4
RIM 926.00 INV. NW (4") 923.67 INV. NE (12") 923.67	RIM 937.00 INV. NW (12") 921.20 INV. NE (12") 921.20	RIM 938.00 INV. NW (12") TBD INV. NE (12") TBD	RIM 935.59 INV. NW (10") 924.32
DEPTH 2.33	DEPTH 15.80	DEPTH TBD	DEPTH 11.27
48" I.D. PRECAST MANHOLE W/ NEENAH R-2560-E2 CASTING W/ BEEHIVE GRATE	48" I.D. PRECAST MANHOLE W/ NEENAH R-1733 CASTING W/ SOLID COVER	48" I.D. PRECAST MANHOLE W/ NEENAH R-1733 CASTING W/ SOLID COVER	36" I.D. PRECAST MANHOLE W/ NEENAH R-2560-E2 CASTING W/ BEEHIVE GRATE

**CLEAN OUT SCHEDULE:**

**CO#1**  
RIM 926.00  
INV. 923.67

\* NOTE: INVERT ELEVATION SHOWN AT 90° BEND/VERTICAL RISER



**POB** Land Surveying  
Engineering  
Landscape Architecture

4941 Kirschling Court  
Stevens Point, WI 54481  
715.344.9977(P)  
715.344.9922(Fx)

Point of Beginning

milwaukee 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
414.271.5350

madison 309 West Johnson Street, Suite 202  
Madison, Wisconsin 53703  
608.442.5395

des moines 699 Walnut Street, Suite 400  
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denver 1899 Wynkoop Street, Suite 300  
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303.595.4500

PROJECT INFORMATION

**BARABOO SCHOOL DISTRICT - JACK YOUNG MIDDLE SCHOOL**

**1531 DRAPER ST BARABOO, WI 53913**

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
11/20/2019	DESIGN DEVELOPMENT
01/14/2020	CITY SUBMITTAL

KEY PLAN

SHEET INFORMATION

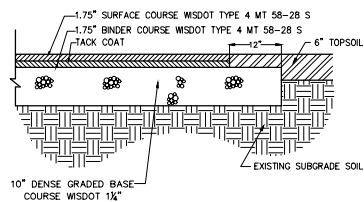
PROJECT MANAGER RV

PROJECT NUMBER 317622

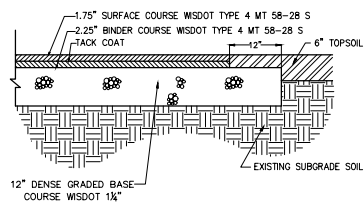
UTILITY PLAN

**C104**

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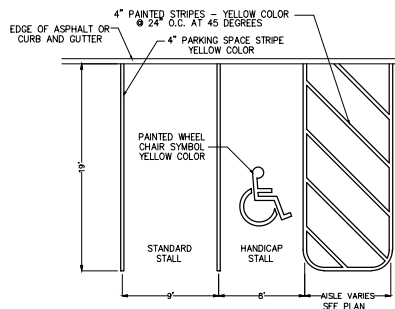


STANDARD PAVEMENT

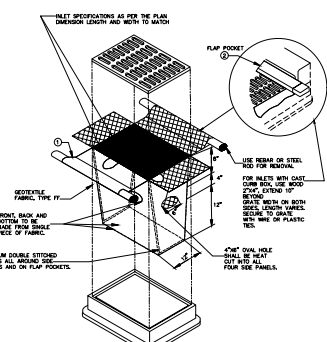


HEAVY DUTY PAVEMENT

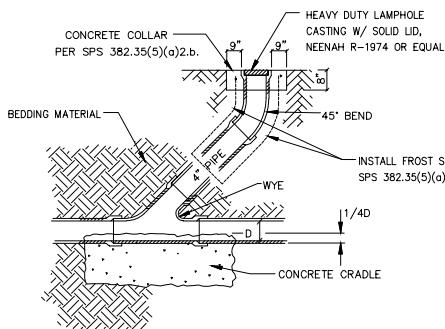
ASPHALT PAVEMENT



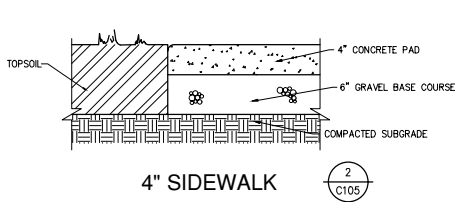
PARKING LOT STRIPING



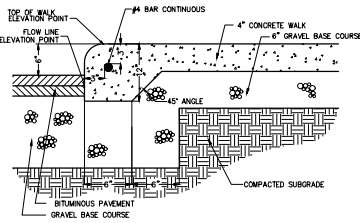
INLET PROTECTION



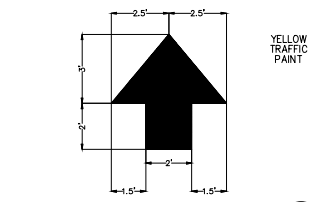
STORM SEWER CLEANOUT



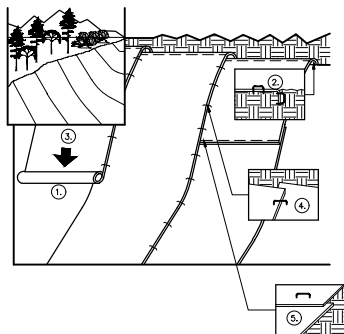
4" SIDEWALK



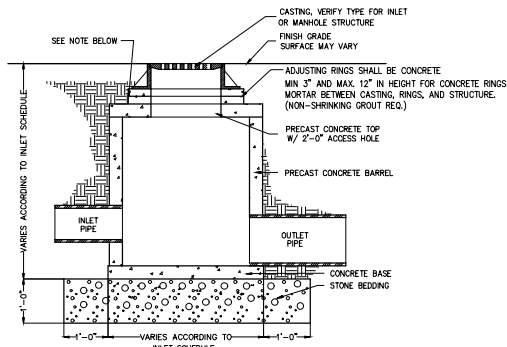
THICKENED EDGE WALK



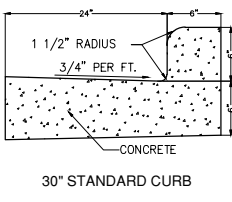
DIRECTIONAL ARROW



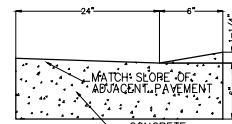
EROSION CONTROL BLANKETS



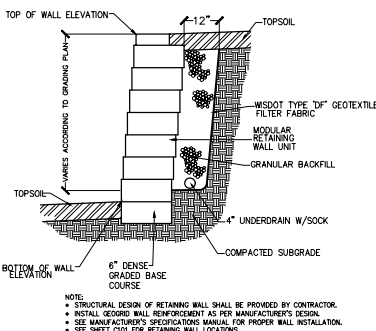
STORM SEWER MANHOLE



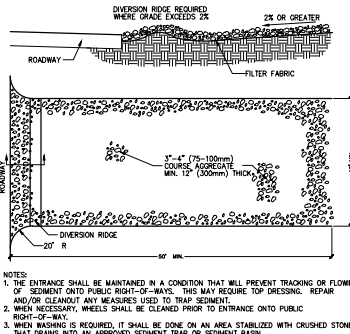
30" STANDARD CURB



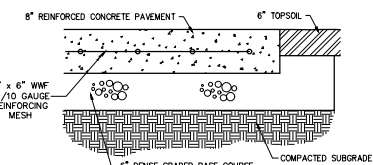
CURB AND GUTTER



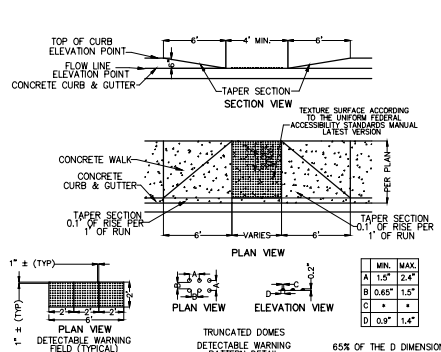
MODULAR RETAINING WALL



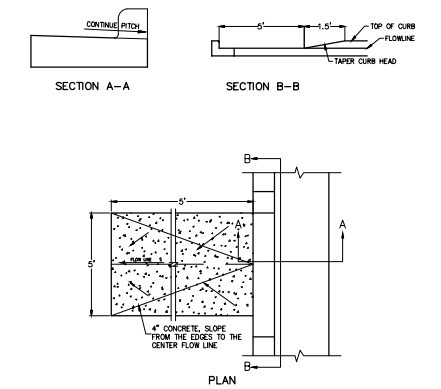
ROCK CONSTRUCTION ENTRANCE



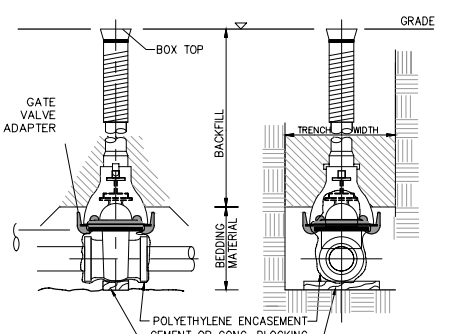
REINFORCED CONCRETE



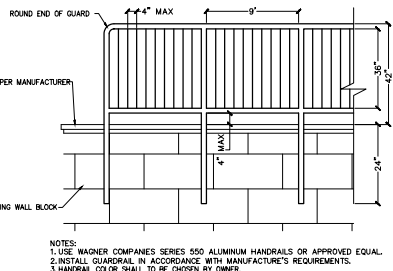
A.D.A. CURB RAMP



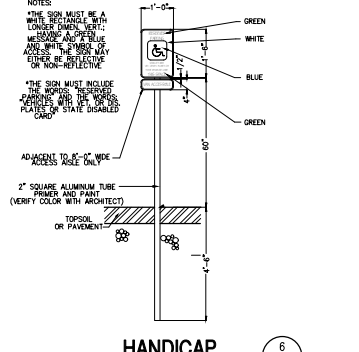
5' CURB OPENING/CONCRETE FLUME



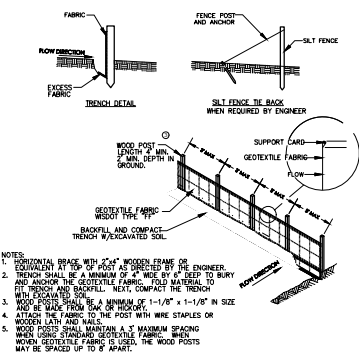
GATE VALVE



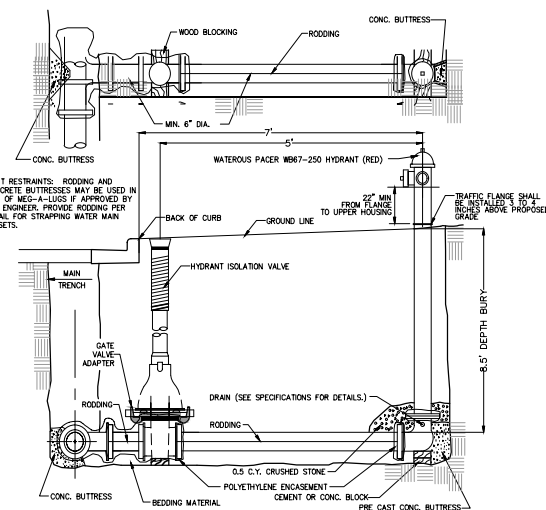
RETAINING WALL RAILING



HANDICAP PARKING SIGN



SILT FENCE



HYDRANT ASSEMBLY

**Point of Beginning**

Land Surveying  
Engineering  
Landscape Architecture

4941 Kinschling Court  
Stevens Point, WI 54481  
715.344.9999(Fx)  
715.344.9922(Fx)



**milwaukee** 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
414.271.5350

**madison** 309 West Johnson Street, Suite 202  
Madison, Wisconsin 53703  
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**des moines** 699 Walnut Street, Suite 400  
Des Moines, Iowa 50309  
515.724.5840

**denver** 1899 Wynkoop Street, Suite 300  
Denver, Colorado 80202  
303.595.4500

PROJECT INFORMATION

**BARABOO SCHOOL  
DISTRICT - JACK  
YOUNG MIDDLE  
SCHOOL**

**1531 DRAPER ST  
BARABOO, WI 53913**

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
11/20/2019	DESIGN DEVELOPMENT
01/14/2020	CITY SUBMITTAL

KEY PLAN

SHEET INFORMATION

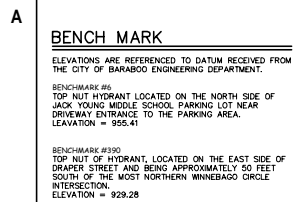
PROJECT MANAGER RV  
PROJECT NUMBER 317622

DETAILS

**C105**

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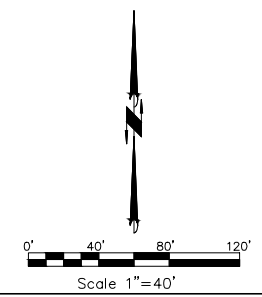
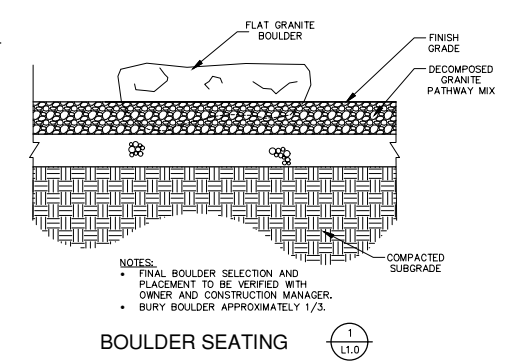
### **UTILITY DISCLAIMER:**

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SPECIFIED PLANTING SOIL DEPTH IS PRESENT PRIOR TO PLANTING.
3. SEED/GRASS/CRIMP HAY MUCH ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION.
4. ALL PLANT MATERIALS LISTED SHALL MEET THE STANDARDS OF THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION FOR THE SIZE GIVEN.
5. ALL TREES SHALL BE STAKED WITH A MINIMUM OF THREE STAKES.
6. ALL TREES IN THE TURF AREA SHALL HAVE A 3" DIAMETER CIRCLE OF 4" DEPTH SHREDDED HARDWOOD BARK MULCH.
7. CURVE-RITE LANDSCAPE EDGING OR APPROVED EQUIVALENT SHALL BE PLACED AROUND ALL LANDSCAPE BEDS.
8. 2" DEPTH OF 2" DECORATIVE LANDSCAPE STONE SHALL BE PLACED IN ALL PLANTING BEDS. STONE TO BE A PURPLE QUARTZITE (OR APPROVED EQUAL) AND SHALL BE FROM A LOCAL QUARRY.
9. CONTRACTOR TO PROVIDE A SAMPLE OF THE STONE TO THE OWNER PRIOR TO INSTALLATION.
10. 20-YEAR WEED BARRIER FABRIC SHALL BE PLACED BENEATH ALL LANDSCAPE STONE.
11. COORDINATE ALL WORK WITH GAS, ELECTRIC (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES FOR THE INSTALLATION OF SAID UTILITIES.

TREES SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY
AF	ACER X FREEMANII 'SIENNA'	SIENNA GLEN MAPLE	2" CAL.	50-60" X 35-40"W	8
BN	BETULA NIGRA	RIVER BIRCH	2" CAL.	40-60" T & W	5
MA	MALUS 'JARMIN'	MARILEE CRABAPPLE	4" T	24" X 10"W	6
QB	QUERCUS BICOLOR	SWAMP WHITE OAK	2" CAL.	60" T & W	8
SHRUBS SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY
PA	PRUNIA ABIES 'LITTLE GEM'	LITTLE GEM NORWAY SPRUCE	3 GAL.	18" T & W	19
RR	ROSA RUGOSA 'METIZOLAURE'	RASPBERRY RUGOSTAR GROUNDCOVER ROSE	3 GAL.	1-3" X 4-5"W	9
TM	TAXUS X MEDIA 'DARK GREEN PYRAMIDALIS'	DARK GREEN PYRAMID YEW	3 GAL.	6-8" X 3-4"W	15
ORNAMENTAL GRASS SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY
CA	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FOERSTER'S FEATHER REED GRASS	1 GAL.	4-6" X 2"W	23
PH	PENNSETUM ALPECOUROIDES 'HAMELI'	DWARF FOUNTAIN GRASS	1 GAL.	2-3" X 1-2"W	17
PV	PANICUM VIRGATUM 'HOT ROD'	HOT ROD SWITCH GRASS	1 GAL.	3-4" X 2"W	23

BUILDING FOUNDATION: 40 PTS OF LANDSCAPING FOR EVERY 100 L.F. OF BUILDING FOUNDATION  
 $650/100 = 6.5 \times 40 = 260$  PTS REQ.  
 -----  
 TOTAL PROPOSED: 269 PTS  
 -----  
 DEVELOPED LOT: 25,883 GROSS FLOOR AREA OF ADDITIONS/ $1,000 = 25.9 \times 20 = 518$  PTS REQUIRED  
 -----  
 PROPOSED: 518 PTS (PROVIDED BY EXISTING LANDSCAPING)  
 -----  
 STREET FRONTAGE: NOT APPLICABLE  
 -----  
 PAVED AREAS: 80 PTS OF LANDSCAPING FOR EVERY 20 PARKING STALLS OR 10,000 S.F. OF PAVEMENT, WHICHEVER IS GREATER  
 -----  
 $31 \text{ PARKING STALLS}/20 = 1.55 \times 80 = 124$  PTS  
 OR  
 $15,860 \text{ S.F.}/10,000 = 1.58 \times 80 = 127$  PTS  
 -----  
 PROPOSED: 225 PTS  
 -----

1 → 3" DEPTH OF 2" DECORATIVE  
 LANDSCAPE STONE--SEE GENERAL  
 NOTE #8  
 2 → LANDSCAPE EDGING  
 3 → BOULDER SEATING



**P  
O  
B**  
Point of Beginning

Land Surveying  
Engineering  
Landscape Architecture

4941 Kirschling Court  
Stevens Point, WI 54481  
715.344.9999(Fh)  
715.344.9922(Fx)



BARABOO SCHOOL  
DISTRICT - JACK  
YOUNG MIDDLE  
SCHOOL

## ISSUANCE AND REVISIONS

DATE	DESCRIPTION
11/20/2019	DESIGN DEVELOPMENT
01/14/2020	CITY SUBMITTAL

## KEY PLAN

SHEET INFORMATION

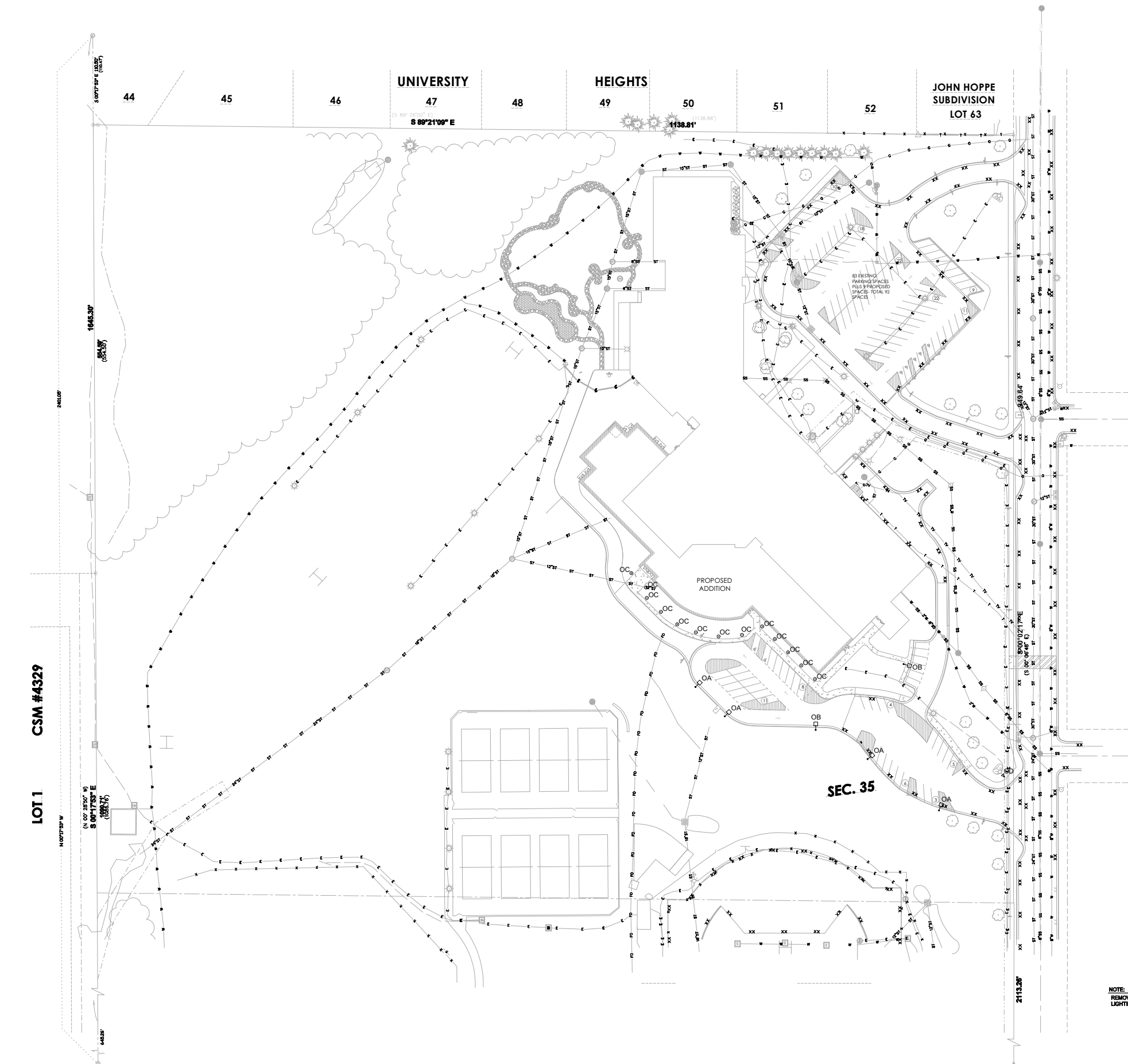
PROJECT MANAGER	RV
PROJECT NUMBER	317622

## LANDSCAPE PLAN

L100

© Epstein Uban Architects, Inc.

E  
D  
C  
B  
A



1 ELECTRICAL SITE PLAN  
1 : 50



milwaukee 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
414.271.5350  
madison 309 West Johnson Street, Suite 202  
Madison, Wisconsin 53703  
608.442.5350  
des moines 699 Walnut Street, Suite 400  
Des Moines, Iowa 50309  
515.724.5840  
denver 1899 Winkop Street, Suite 300  
Denver, Colorado 80202  
303.595.4500

PROJECT INFORMATION

BARABOO SCHOOL  
DISTRICT - JACK  
YOUNG MIDDLE  
SCHOOL

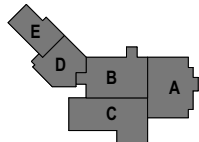
D 1531 DRAPER ST  
BARABOO, WI 53913



ISSUANCE AND REVISIONS

DATE	DESCRIPTION
01/03/2020	DESIGN DEVELOPMENT

KEY PLAN



SHEET INFORMATION

PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION  
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER G.W.S.  
PROJECT NUMBER 317622

ELECTRICAL SITE  
PLAN

E010





by Signify

## Site & Area

AeroScape LED

ASA



The Gardco AeroScape LED site and area is defined by its high performance, sleek profile and rugged construction. AeroScape LED luminaires combine LED performance excellence and advanced LED thermal management technology. Providing outdoor area lighting that is both energy efficient and aesthetically pleasing.

Project: \_\_\_\_\_

Location: \_\_\_\_\_

Cat.No: \_\_\_\_\_

Type: \_\_\_\_\_

Lamps: \_\_\_\_\_ Qty: \_\_\_\_\_

Notes: \_\_\_\_\_

### Ordering guide

Luminaire	Number of LEDs	Drive Current	LED Color Generation	Mounting	Distr.	Voltage	Dimming Control	Electrical	Options	Finish
<b>ASA</b>										
<b>ASA</b> AeroScape LED Site & Area Luminaire	<b>32L</b> 32 LEDs <b>48L</b> 48 LEDs	<b>500</b> 500mA <sup>1</sup> <b>1.2A</b> 1.2A	<b>CW-G2</b> Cool White 5700K, 70 CRI Generation 2 <b>NW-G2</b> Neutral White 4000K, 70 CRI Generation 2 <b>WW-G2</b> Warm White 3000K, 70 CRI Generation 2	<b>SAM</b> Straight Arm mount	<b>2</b> Type 2 <b>3</b> Type 3 <b>4</b> Type 4 <b>5</b> Type 5	<b>120</b> 120V <b>208</b> 208V <b>240</b> 240V <b>277</b> 277V <b>347</b> 347V <b>480</b> 480V <b>UNV</b> 120-277V AC <b>HVU</b> 347-480V AC	<b>DD</b> 0-10V Dimming Driver  <b>DynaDimmer:</b> <b>Automatic Profile Dimming</b>  <b>CS50</b> Safety 50% Dimming, 7 hours <sup>2,5</sup> <b>CM50</b> Median 50% Dimming, 8 hours <sup>2,5</sup> <b>CE50</b> Economy 50% Dimming, 9 hours <sup>2,5</sup> <b>DA50</b> All Night 50% Dimming <sup>2</sup>  <b>Photoelectric/Receptacle Systems (Twist Lock)</b>  <b>PCB</b> Photocontrol Button <sup>3</sup>  <b>TLRD5</b> Twist Lock receptacle 5-pin <sup>3</sup>  <b>TLRPC</b> Twist Lock receptacle w/Photocell <sup>3</sup>	<b>Fusing</b>  <b>F1</b> Single (120, 277, 347VAC) <sup>3</sup> <b>F2</b> Double (208, 240, 480VAC) <sup>3</sup> <b>F3</b> Canadian Double Pull (208, 240, 480VAC) <sup>3</sup>  <b>Pole Mount Fusing</b>  <b>FP1</b> Single (120, 277, 347VAC) <sup>4</sup> <b>FP2</b> Double (208, 240, 480VAC) <sup>4</sup> <b>FP3</b> Canadian Double Pull (208, 240, 480VAC) <sup>4</sup>	<b>HIS</b> Internal Housing Side Shield	<b>Textured</b>  <b>BK</b> Black <b>WH</b> White <b>BZ</b> Bronze <b>DGY</b> Dark Gray <b>MGY</b> Medium Gray  <b>Customer specified</b>  <b>RAL</b> Specify optional color or RAL (ex: RAL7024)  <b>CC</b> Custom color (Must supply color chip for required factory quote)

1. Available with 32L only.
2. Available in 120, 208, 240, 277 or UNV only.
3. Choose PCB or TLRD Twist Lock Receptacle options.

4. Must specify input voltage.
5. Not available with Dimming Driver (DD) option.

### Accessories (order separately)

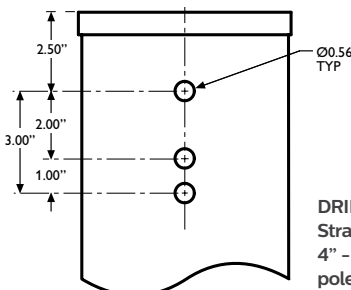
#### Round Pole Adapter

**RPA339-ASA** Round pole adapter for 3.0-3.9" O.D. pole.



### Wall Mount Drill Template

#### Straight Arm Mount Drill Template (NTS)



**DRILL TEMPLATE NO. 13**  
Straight Arm Mount to 4" - 5" round or square pole



## Site & Area

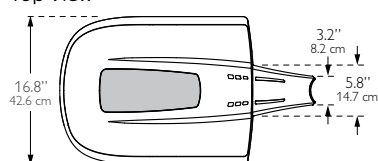
## LED Wattage and Lumen Values

Neutral White Ordering Codes	LED Qty	System Current (A)	Color Temp (K)	Avg System Wattage	Type 2			Type 3			Type 4			Type 5		
					Lumen Output	Bug Rating	Efficacy	Lumen Output	Bug Rating	Efficacy	Lumen Output	Bug Rating	Efficacy	Lumen Output	Bug Rating	Efficacy
ASA-32L-500-NW-G2	32	500	4000	52	6327	B2-U0-G1	121	6090	B1-U0-G2	116	6128	B1-U0-G2	117	6642	B3-U0-G1	127
ASA-32L-1.2A-NW-G2	32	1200	4000	124	12892	B3-U0-G2	104	12408	B2-U0-G2	100	12485	B2-U0-G2	101	13533	B4-U0-G2	109
ASA-48L-1.2A-NW-G2	48	1200	4000	183	18824	B3-U0-G2	103	18118	B3-U0-G3	99	18230	B3-U0-G3	100	19760	B5-U0-G3	108

## Dimensions

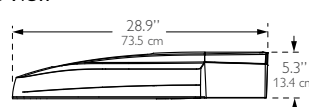
### Straight Arm Dimensions

Top View

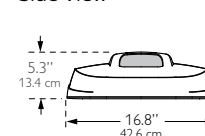


Weight: 34.7 lbs (15.7 kgs)  
EPA: 0.57 sq ft

Side View



Side View



## Specifications

### Housing

A one-piece die cast aluminum housing mounts directly to a pole without the need for a support arm. The low profile rounded form reduces the effective projected area of the luminaire to only 0.57 ft<sup>2</sup>.

### Thermal Management

The AeroScape LED provides a one piece die cast with integral thermal radiation fins combined with lateral air ways, to provide the excellent thermal management so critical to long LED system life. AeroScape is ETL listed per UL1598 from -40 to 40°C ambient.

### LED Optical System

LED arrays are set to achieve IES Type II, Type III, Type IV, Type V, available with internal shields for back light control. Individual LED arrays are replaceable. Luminaires feature high performance Class 1 LED systems.

### Finish

Five standard colors offered in textured black, white, bronze, dark gray and medium gray. RAL and custom color matching available. Color in accordance with the AAMA 2604 standard. Application of polyester powder coat paint (2.5 mil minimum). The thermosetting resins provides a discoloration resistant finish in accordance with the ASTM D2244 standard, as well as luster retention in keeping with the ASTM D523 standard and humidity proof in accordance with the ASTM D2247 standard.

### IP Rating

AeroScape LED luminaire is IP66 rated.

### Electrical

Luminaires are equipped with an LED driver that accepts 120V through 277V, or 347V through 480V, 50hz to 60hz, input. Driver output is based on the LED wattage selected. Component-to-component wiring within the luminaire will carry no more than 80% of rated current and is listed by ETL. Power factor is not less than 90%. Luminaire consumes 0.0 watts in the off state. All motion sensors utilized consume 0.0 watts in the off state. Surge protector standard. 10KA per ANSI/IEEE C62.41.2.

### Certifications and Compliance

cETLus listed for Canada and USA. Entire luminaire is rated for operation in ambient temperature of -40°C (-40°F) up to +40°C (+104°F).

### Limited Warranty

5 year limited warranty.  
See [signify.com/outdoorluminaires](http://signify.com/outdoorluminaires) for complete details and exclusions.

### Predicted Lumen Depreciation Data

Ambient Temperature °C	System Current	LED Current	Calculated L70hrs <sup>1,2</sup>	L70 per TM21 <sup>2,3</sup>	Lumen Maintenance @ 60,000hrs
25 °C	1200 mA	1200 mA	>100,000	>60,000	86%

1. Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions.
2. L70 is the predicted time when LED performance depreciates to 70% of initial lumen output.
3. Calculated per IESNA TM 21-11. Published L70 hours limited to 6 times actual LED test hours.





Gardco PureForm LED bollard PBL integrates a sleek, low profile design, extraordinary light output, and energy savings into an innovative pedestrian scale luminaire. PureForm bollard features a high performance optical system designed to achieve wide spacings and full cutoff performance. Three heights available for a customized look. IP66 optics ensure dust or moisture will never interfere with performance.

Project: \_\_\_\_\_  
 Location: \_\_\_\_\_  
 Cat.No: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Lamps: \_\_\_\_\_ Qty: \_\_\_\_\_  
 Notes: **OC FIXTURE**

## Ordering guide

example: **PBL-42-14L-450-NW-G2-5-UNV**

Prefix	Shaft Height	Number of LEDs	Drive Current	LED Color - Generation	Distribution	Emergency	Voltage
PBL							
PBL PureForm bollard	36 Standard Shaft 36"	14L 14 LEDs (full ring)	100 100mA	WW-G2 Warm White 3000K, 70 CRI Generation 2	Type 3	Leave blank for no battery EBP Emergency battery <sup>2,8,11</sup>	120 120V
	42 Standard Shaft 42"		200 200mA	NW-G2 Neutral White 4000K, 70 CRI Generation 2	3 Type 3		208 208V
	60 Standard Shaft 60"		350 350mA		Type 5		240 240V
			450 450mA		5 Type 5		277 277V
			600 600mA	CW-G2 Cool White 5000K, 70 CRI Generation 2			
	800 800mA		480 480V				
	1050 1050mA		UNV 120-277V (50/60Hz)				
			WY-G2 Warm Yellow 2700K, 80 CRI Generation 2 <sup>1</sup>				
			AM-G2 Direct Amber (590nm) Generation 2 <sup>1,14</sup>				
Options							
Dimming controls		Motion sensing		Photo-sensing		Electrical	Finish
DD 0-10V External dimming (by others) <sup>4,5</sup> FAWS Field Adjustable <sup>4,5</sup> SW Interface module for SiteWise <sup>3,4,5,6</sup> LLC Wireless controls without PIR sensor <sup>4,5,6</sup> BL Bi-level functionary with motion sensor <sup>4,12</sup>  DynaDimmer: Automatic Profile Dimming <sup>4,5</sup> CS50 Security 50% Dimming, 7 hours CM50 Median 50% Dimming, 8 hours CE50 Economy 50% Dimming, 9 hours DA50 All Night 50% Dimming CS30 Security 30% Dimming, 7 hours CM30 Median 30% Dimming, 8 hours CE30 Economy 30% Dimming, 9 hours DA30 All Night 30% Dimming		IMRI Integral infrared <sup>7,12</sup>		PCB Photocontrol Button <sup>9,13</sup>		Fusing F1 Single (120, 277, 347VAC) <sup>9</sup> F2 Double (208, 240, 480VAC) <sup>9</sup> F3 Canadian Double Pull (208, 240, 480VAC) <sup>9</sup>  Surge Protection (10kA standard) SP2 Increased 20kA GFCI Ground Fault Interrupt Outlet <sup>10</sup>	Textured BK Black WH White BZ Bronze DGY Dark Gray MGY Medium Gray  Customer specified RAL Specify optional color or RAL (ex: RAL7024) CC Custom color (Must supply color chip for required factory quote)

- Extended lead times apply. Contact factory for details.
- Not available in 100, 200 or 350mA.
- Available in 120V or 277V only.
- Not available with other control options.
- Not available with motion sensor.

- Not available with photocontrol.
- Available only with BL dimming control.
- Not available with SW, LLC, and CS/CM/CE/DA.
- Must specify input voltage.
- Available in 120V only.

- Not available in 347 or 480V.
- Not available in 100, 200, and 1050mA.
- Not available with SW or LLC.
- Not available in 800 and 1050mA.

## Site & Area

### LED Wattage and Lumen Values

Ordering Code	LED Qty	LED Current (mA)	Color Temp.	Average System Watts	Type 3			Type 5		
					Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
PBL-14L-100-NW-G2-xx	14	100	4000	6.1	492	B0-U0-G0	81	538	B1-U0-G0	88
PBL-14L-200-NW-G2-xx	14	200	4000	10.6	965	B0-U0-G0	91	1055	B1-U0-G0	100
PBL-14L-350-NW-G2-xx	14	350	4000	17.7	1608	B0-U0-G0	91	1758	B1-U0-G0	99
PBL-14L-450-NW-G2-xx	14	450	4000	23.1	2007	B0-U0-G1	87	2195	B2-U0-G1	95
PBL-14L-600-NW-G2-xx	14	600	4000	30.3	2551	B1-U0-G1	84	2789	B2-U0-G1	92
PBL-14L-800-NW-G2-xx	14	800	4000	40.5	3198	B1-U0-G1	79	3497	B2-U0-G1	86
PBL-14L-1050-NW-G2-xx	14	1050	4000	53.8	3853	B1-U0-G1	72	4213	B3-U0-G1	78

Values from photometric tests performed in accordance with IESNA LM-79 and are representative of the configurations shown. Actual performance may vary due to installation and environmental variables, LED and driver tolerances, and field measurement considerations. It is highly recommended to confirm performance with a photometric layout.

NOTE: Some data may be scaled based on tests of similar (but not identical) luminaires. Contact factory for configurations not shown.

### LED Wattage and Lumen Values (Emergency Mode)

Ordering Code	LED Qty	LED Current (mA)	Color Temp.	Avg. System Watts		Lumen Outputs			
				Normal Mode	Emergency Mode	Type 3		Type 5	
						Normal Mode	Emergency Mode	Normal Mode	Emergency Mode
PBL-14L-450-NW-G2-xx-EBP	14	450	4000	23.1	10.4	2007	1211	2195	1324
PBL-14L-600-NW-G2-xx-EBP	14	600	4000	30.3	10.4	2551	1211	2789	1324
PBL-14L-800-NW-G2-xx-EBP	14	800	4000	40.5	10.4	3198	1211	3497	1324
PBL-14L-1050-NW-G2-xx-EBP	14	1050	4000	53.8	10.4	3853	1211	4213	1324

For emergency EBP option, publish values are based on initial lumens.

### Predicted Lumen Depreciation Data

Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions. L<sub>70</sub> is the predicted time when LED performance depreciates to 70% of initial lumen output. Calculated per IESNA TM21-11. Published L<sub>70</sub> hours limited to 6 times actual LED test hours

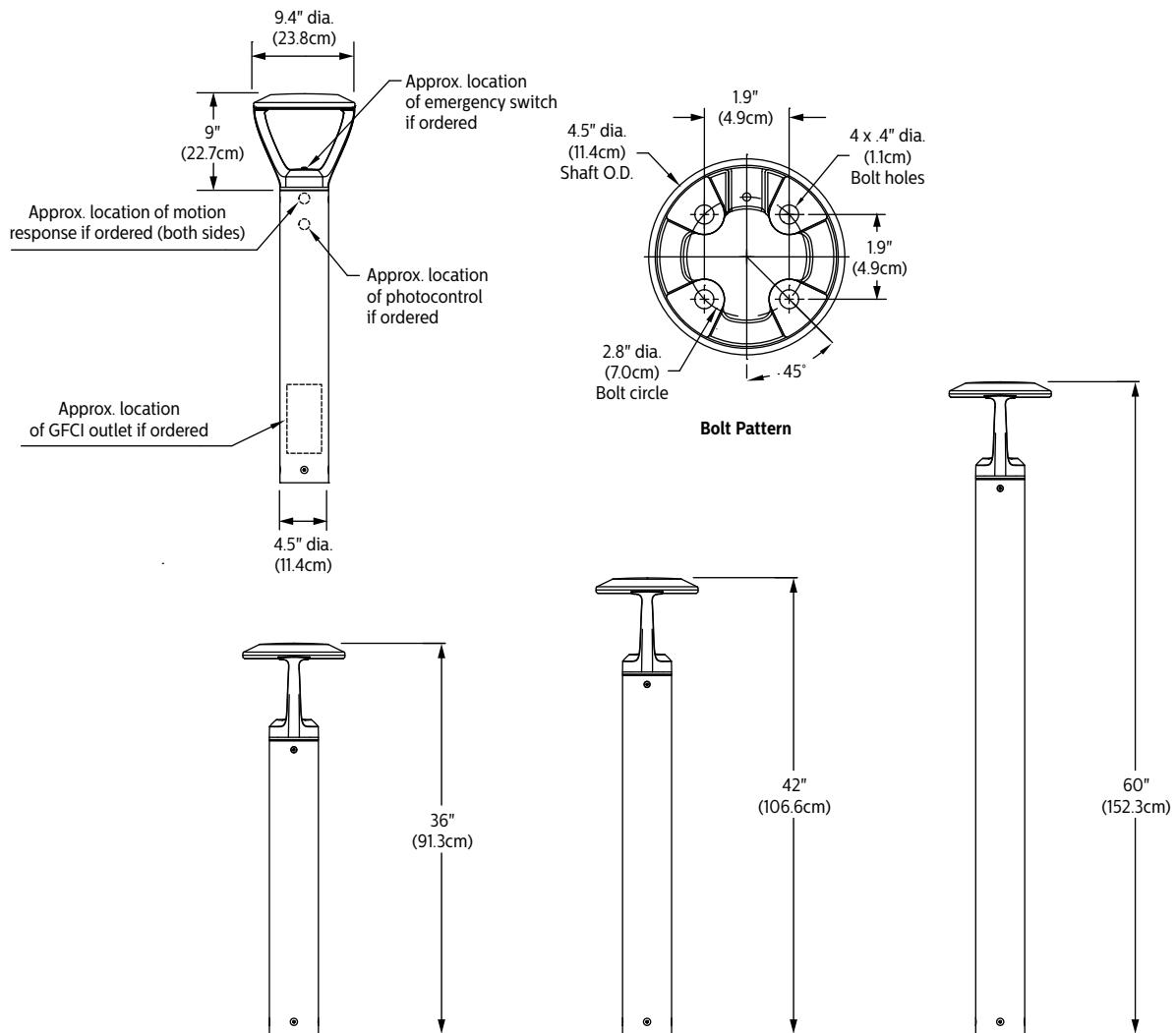
Ambient Temperature °C	Driver mA	Calculated L <sub>70</sub> Hours	L <sub>70</sub> per TM-21	Lumen Maintenance % at 60,000 hrs
25°C	up to 1050mA	>100,000 hours	>60,000 hours	>95%

# PBL PureForm LED bollard

OC  
FIXTURE

## Site & Area

## Dimensions – bollard



## Site & Area

### Specifications

#### Housing

Main body housing and yoke made of low copper cast aluminum alloy for a high resistance to corrosion. Luminaire shaft features a cylindrical extruded aluminum base housing. Bottom section has a casted ring for ease of assembly. It attaches to base assembly with four (4) hex head set screws. Most electrical components are integrated in the shaft of the bollard by design. This allows for the sleek profile, giving the freedom to have a clean minimalist aesthetic design with minimum obstruction to optical performance. Luminaire housing rated to IP65, tested in accordance to Section 9 of IEC 60598-1.

#### Light engine

Light engine comprises of a 14-LED module made out of aluminum metal clad board fully sealed with optics. Module is RoHS compliant. Color temperatures: 3000K +/- 125K, 4000K, 5000K +/- 200K. Minimum CRI of 70. Also available in 2700K and Amber (590nm) with extended lead times. Contact factory for details. LED light engine is rated IP66 in accordance to IEC 60598.

#### Energy saving benefits

System efficacy up to 100 lms/W with significant energy savings over Pulse Start Metal Halide luminaires. Optional control options provide added energy savings during unoccupied periods.

#### Optical systems

Type 3 and 5 distributions available. Performance tested per LM-79 and TM-15 certifying its photometric performance. Luminaire designed with 0% uplight (UO per IESNA TM-15).

#### Mounting

Base assembly consists of a cast aluminum platform. Assembly is secured and leveled to the mounting foundation with four (4) 3/8" X 8" x 1 1/2" (.953 cm x 20.32 cm x 3.81 cm)-16 anchor bolts on a 2 3/4" (6.9 cm) bolt circle.

#### Control options

**0-10V dimming (DD):** Access to 0-10V dimming leads supplied through base of luminaire (for secondary dimming controls by others). Cannot be used with other control options.

**Field Adjustable Wattage Selector (FAWS):** Luminaire equipped with the ability to manually adjust the wattage in the field to reduce total luminaire lumen output and light levels. Comes pre-set to the highest position at the lumen output selected. Use chart below to estimate reduction in lumen output desired. Cannot be used with other control options or motion response.

FAWS Position	Percent of Typical Lumen Output
1	25%
2	50%
3	55%
4	65%
5	75%
6	80%
7	85%
8	90%
9	95%
10	100%

Note: Typical value accuracy +/- 5%

**SiteWise (SW):** SiteWise system includes a controller fully integrated in the luminaire that enables the luminaires to communicate with a dimming signal transmitter cabinet located on site using patented central dimming technology. A locally accessible mobile app allows users to access the system and set functionalities such as ON/OFF, dimming levels and scheduling. Cannot be used with other control options, motion response or photocell options. Additional functionalities are available such as communication with indoor lighting and connection to BMS systems. Complete information on the control system can be found on the SiteWise website at [signify.com/sitewise](http://signify.com/sitewise).

**Automatic Profile Dimming (CS/CM/CE/CA):** Standard dimming profile of 30% or 50% provide flexibility towards energy savings goals while optimizing light levels during specific dark hours.

Automatic dimming profile scheduled with the following settings:

- **CS50/CS30:** Security for 7 hours night duration (Ex., 11 PM - 6 AM)
- **CM50/CM30:** Median for 8 hours night duration (Ex., 10 PM - 6 AM)
- **CE50/CE30:** Economy for 9 hours night duration (Ex., 9 PM - 6 AM)
- **CA50/CA30:** for all night (during all dark hours)

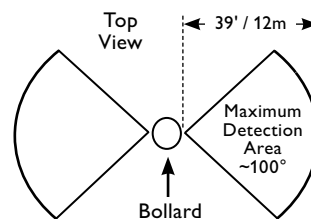
Cannot be used with other control options.

**Wireless system (LLC):** Optional wireless controller integral to luminaire ready to be connected to a Limelight system (sold by others). The system allows you to wirelessly manage the entire site, independent lighting groups or individual luminaires while on-site or remotely. Based on a high-density mesh network with an easy to use web-based portal, you can conveniently access, monitor and manage your lighting network remotely. Wireless controls can be combined with site and area, pedestrian, and parking garage luminaires as well, for a completely connected outdoor solution. Motion response capability can be installed in other luminaires in the mesh or on a remote pod accessory where pod is mounted to pole or wall.

**Emergency Battery Pack (EBP):** Emergency battery packs included integral to the luminaire, allowing for no field installation of remote emergency equipment. EBP is suitable for use in ambient temperature conditions from 0°C (-32°F) to 40°C (100°F) available on 450mA and up. The system is designed to have a secondary driver with relay to immediately detect AC power loss to power luminaire for a minimum of 90 minutes from the time power is lost. Available with 120-277V, or 'UNV' only.

#### Motion response options

**Infrared Motion Response Integral (BL-IMRI):** Motion Response module is mounted integral to luminaire factory pre-programmed to 20% dimming when not ordered with other control options. BL-IMRI is set/operates in the following fashion: When motion is not detected for a 5 -minute period, luminaires automatically dim to 20% power and light, gradually over a 2 -minute period. Once Motion is detected, luminaires immediately ramp to full power and light output until motion is not detected for a 5-minute period.





# PBL PureForm LED bollard

## Site & Area

## Specifications (cont'd)

### Electrical

**Driver:** Driver efficiency (>90% standard). 120-277V available. Bollards with 347V or 480V input require and include a step-down transformer (placed within the bollard shaft) to provide proper input voltage to the LED power supply. Open/short circuit protection. Optional 0-10V dimming to 10% power. RoHS compliant.

**Surge protection:** Each luminaire is provided as standard with surge protector tested in accordance with ANSI/IEEE C62.45 per ANSI/IEEE C62.41.2 Scenario I Category C High Exposure 10kV/5kA waveforms for Line Ground, Line Neutral and Neutral Ground, and in accordance with U.S. DOE (Department of Energy) MSSLC (Municipal Solid-State Street Lighting Consortium) Model Specification for LED Roadway Luminaires Appendix D Electrical Immunity High Test Level 10kV / 5kA. Optional 20kV is available for additional protection.

**Ground Fault Interrupt Outlet (GFCI):** Optional Class A Rated White 15-Amp GFCI (Ground Fault Circuit Interrupter) Duplex Outlet provides electrical shock protection and prevents the risk of electrical fire caused by ground fault current.

### Listings

UL 1598 standard, suitable for Wet Locations. Suitable for use in ambients from -40° to 40°C (-40° to 104°F). The quality systems of this facility have been registered by UL to the ISO 9001 series standards. Most PureForm PBL configurations are DesignLights Consortium® qualified. Consult DLC Qualified Products list for more details.

### Finish

Each standard color luminaire receives a fade and abrasion resistant, electrostatically applied, thermally cured, triglycidal isocyanurate (TGIC) textured polyester powdercoat finish. The surface treatment achieves a minimum of 1000 hours for salt spray resistant finish in accordance with testing performed and per ASTM B117 standard. Standard colors include bronze (BZ), black (BK), white (WH), dark gray (DGY), and medium gray (MGY). Consult factory for specs on optional or custom colors.

### Warranty

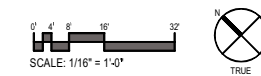
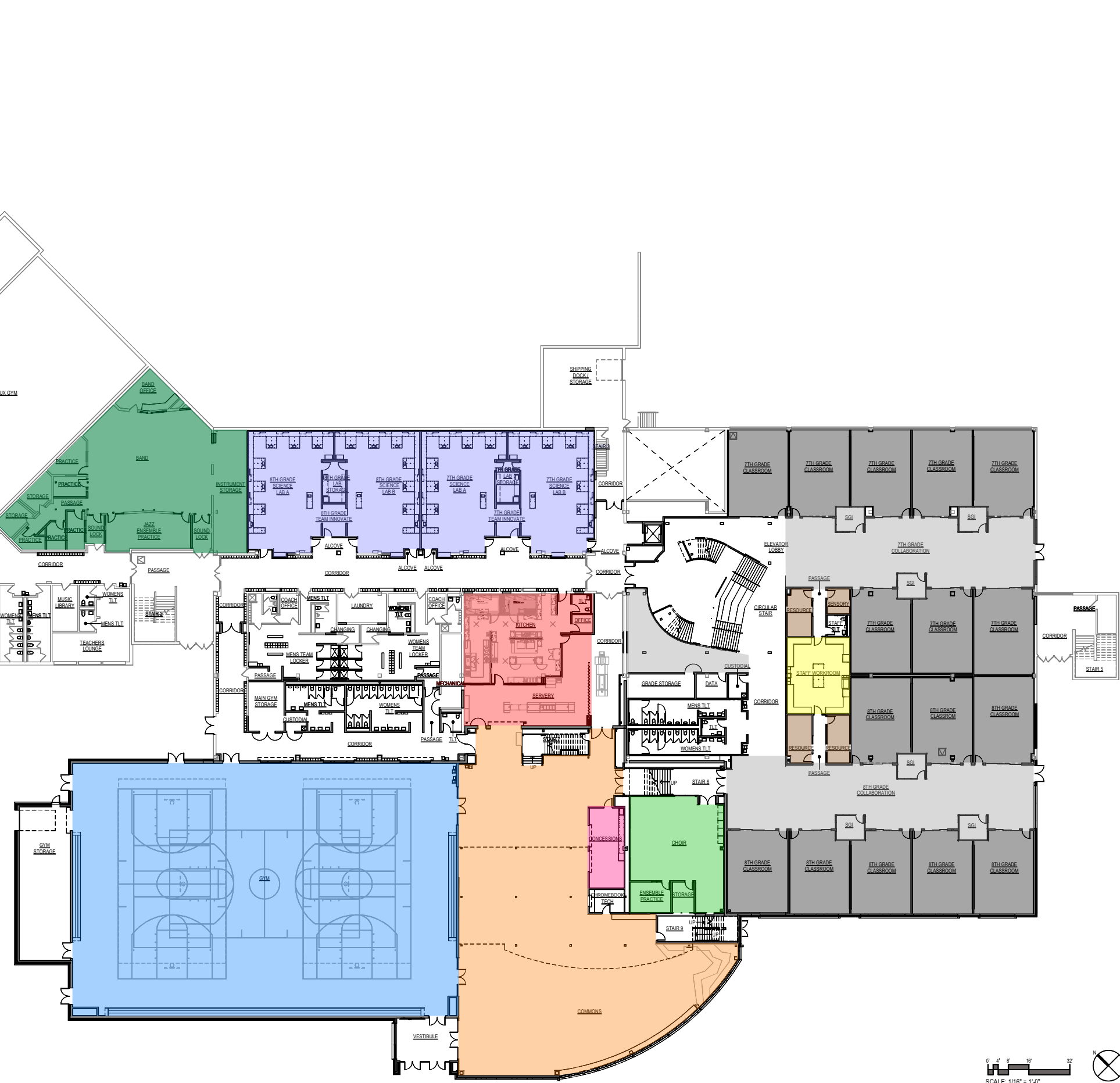
PureForm luminaires feature a 5-year limited warranty. See [signify.com/warranties](http://signify.com/warranties) for complete details and exclusions.



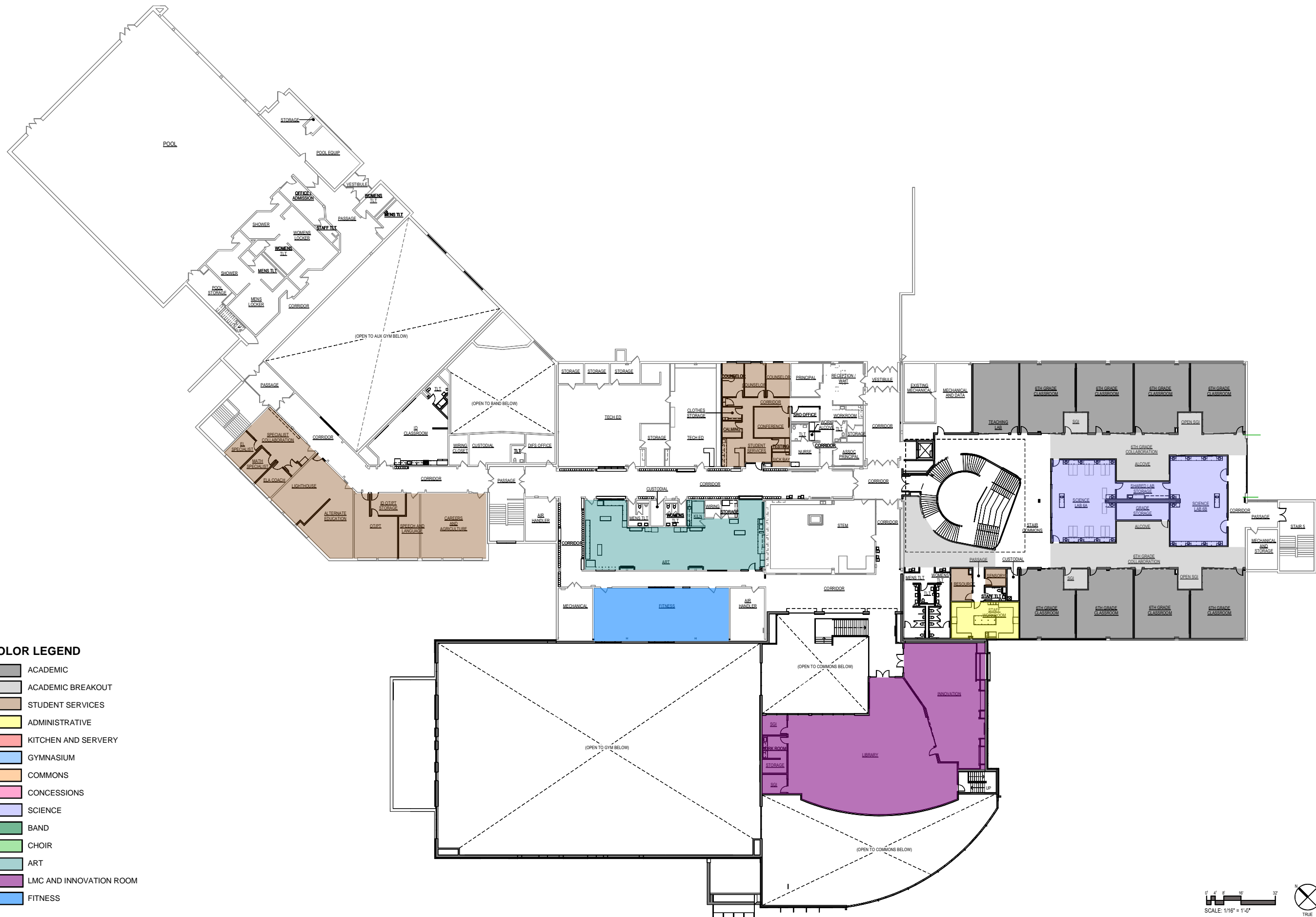


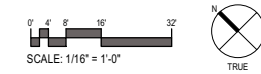
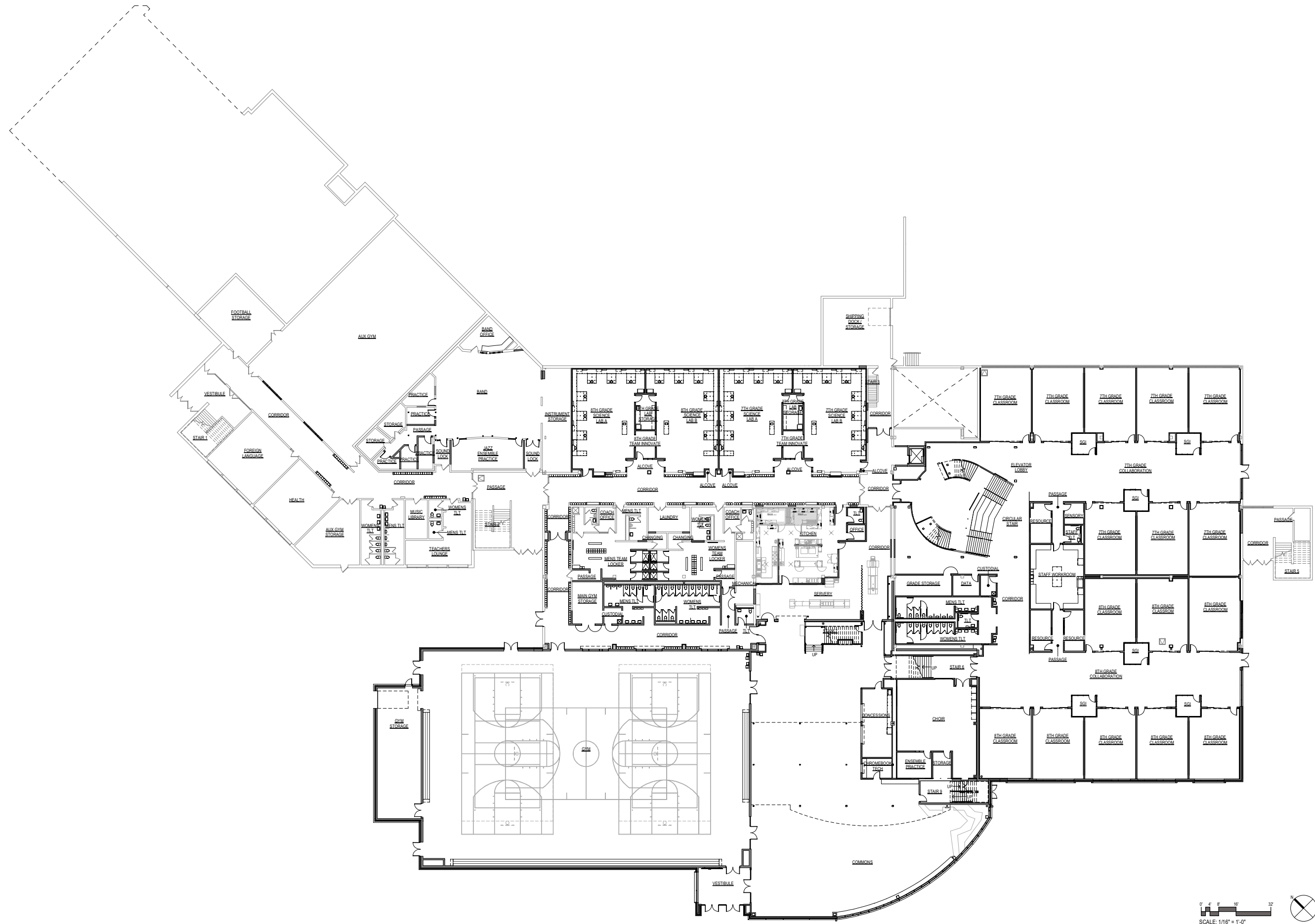
# COLOR LEGEND

- ACADEMIC
- ACADEMIC BREAKOUT
- STUDENT SERVICES
- ADMINISTRATIVE
- KITCHEN AND SERVERY
- GYMNASIUM
- COMMONS
- CONCESSIONS
- SCIENCE
- BAND
- CHOIR
- ART
- LMC AND INNOVATION ROOM
- FITNESS

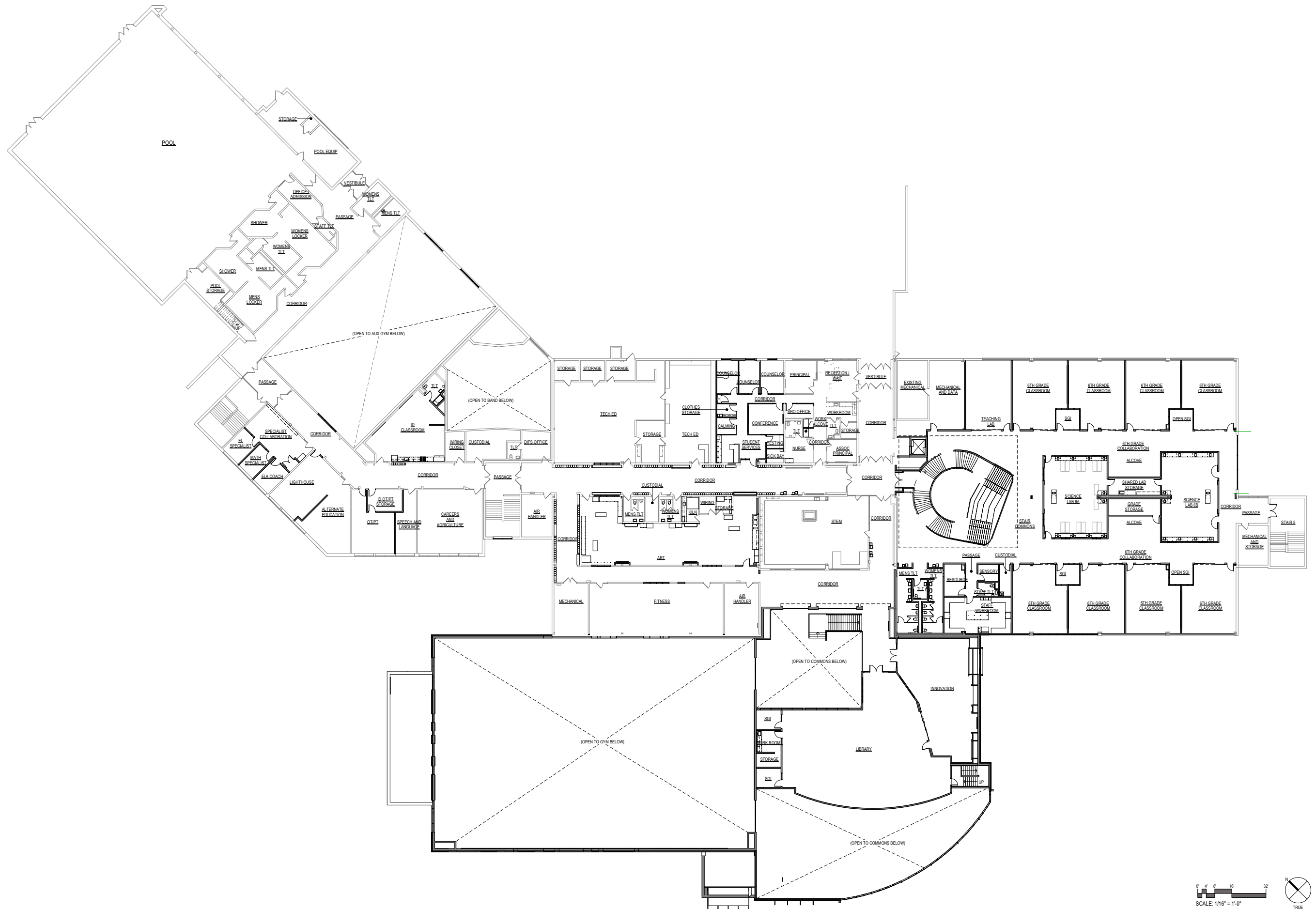


1ST FLOOR LEVEL 1 AND 2 OVERALL PLAN



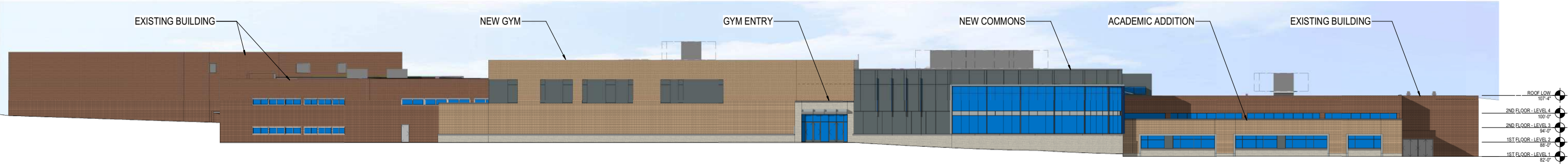


1ST FLOOR LEVEL 1 AND 2 OVERALL PLAN

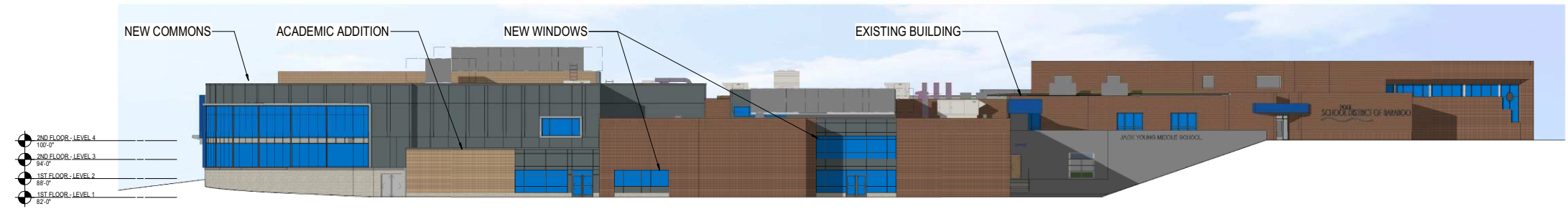


2ND FLOOR LEVEL 3 AND 4 OVERALL PLAN

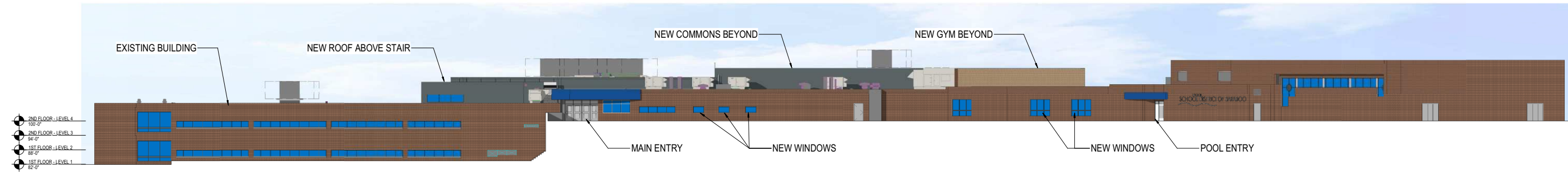




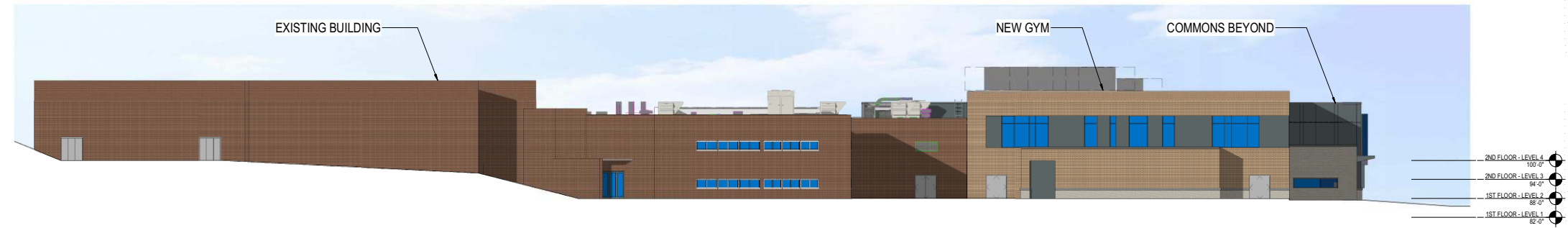
WEST ELEVATION\_PLANNING COMMISSION REVIEW



SOUTH ELEVATION\_PLANNING COMMISSION REVIEW

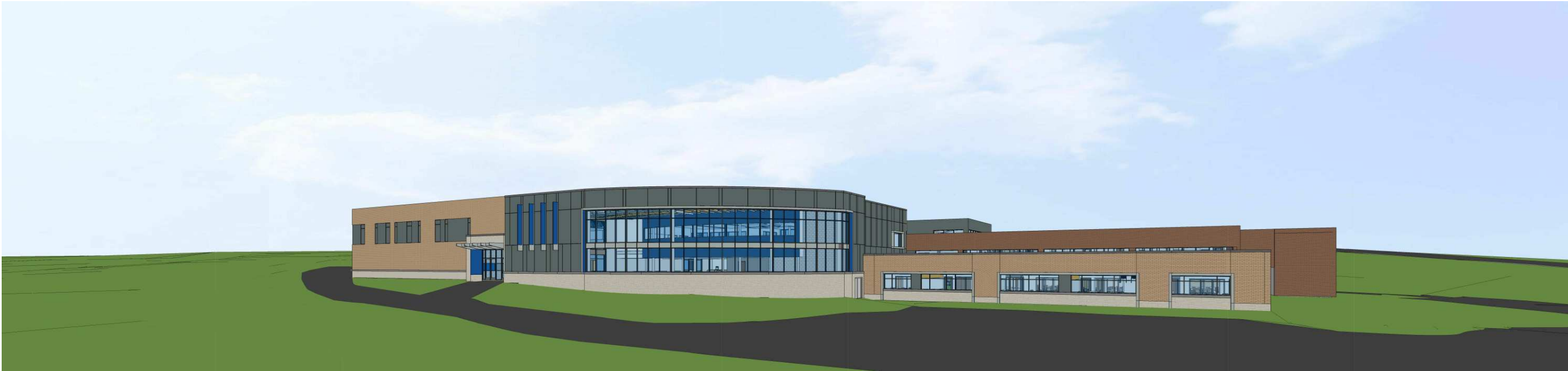


EAST ELEVATION\_PLANNING COMMISSION REVIEW



NORTH ELEVATION\_PLANNING COMMISSION REVIEW

OVERALL ELEVATIONS



**SOUTHWEST PERSPECTIVE**



**NORTHWEST PERSPECTIVE**